

August 5, 20244

David Schoon Director of Community Development Village of Winnetka 510 Green Bay Road Winnetka, Illinois 60093

Dear Mr. Schoon,

On behalf of the Winnetka Park District, I would like to thank you, the rest of the Village staff, and additional consultants for all your time and effort in refining our submittal application for the Special Use Permit for the project implementation for Centennial Beach, Bluff, and Park improvements.

As you know, the Winnetka Park District seeks approval of this Special Use Permit to continue reinvesting in long-term sustainable recreation and open space infrastructure, as identified in its approved and previously executed Lakefront Master Plan, Winnetka Waterfront 2030.

The Centennial beach, bluff, and park improvements will not only enhance and support the continued successful operation of community-desired amenities such as the controlled offleash dog beach and recreational swimming beach, but also foster a sense of pride and connection within the community.

Primary shoreline and bluff stabilization infrastructure seeks to provide a long-term, meaningful strategy to lessen beach and bluff erosion, create and stabilize the beach environment, and meet state and regional lakefront stabilization goals. Additionally, through a carefully crafted ramp and boardwalk system, the district looks to provide meaningful and continuous ADA access to beachfront users of all ages and abilities.

The Winnetka Park District's Mission is to provide a balance of quality recreation and leisure opportunities while protecting assets, natural resources, and open space to benefit present and future generations. As a District, we believe the plan outlined in this application meets all the required Special Use Standards and Lakefront and Bluff ordinances that have been put in place to protect one of Winnetka's greatest community assets, its beautiful Lake Michigan Shoreline.

We have reviewed all the comments and questions from the various department heads and put together what we feel is a very thoughtful project that considers the founding pillars of the Waterfront 2030 Plan while balancing the community information we received throughout our engagement in this project.



Completing the Centennial Beach, Bluff, and Park improvements will allow the Park District to complete another lakefront park and move one-step closer to implementing the Winnetka Waterfront 2030 Plan.

We look forward to presenting our plan to the Village's governing boards in the next couple of months.

Sincerely,

Shannon Q. Nazzal, CPRE Executive Director Winnetka Park District



### VILLAGE OF WINNETKA, ILLINOIS DEPARTMENT OF COMMUNITY DEVELOPMENT

# SPECIAL USE PERMIT APPLICATION

#### **REQUIRED MATERIALS FOR SUBMISSION**

The Applicant must provide 1 hard copy and 1 electronic copy (.pdf), of the following information. (Email electronic copy to <u>aklaassen@winnetka.org</u>).

- **Complete application form (attached);**
- □ <u>Written application materials.</u> Description of project. Narrative shall provide evidence that the proposed special use will conform to the six (6) standards for granting a Special Use Permit (attached);
- Deed proving ownership. (Note: Applications involving property held by a land trust must be signed by the trust officer of the institution holding the trust. The names and addresses of beneficial owners and a certified copy of the trust agreement must also be provided).
- Zoning calculations. Lot coverage and gross floor area calculation worksheets, if work includes modifying amount of impermeable surface area or building area (attached);
- Traffic study and/or parking study. A traffic study may be required if a proposed use is anticipated to generate levels of traffic that will impact the flow of traffic on surrounding streets or intersections (traffic study guidelines are attached). The traffic study requirement may be waived by the Village Engineer for certain applications where it can be demonstrated that the use will generate minimum traffic impacts. A parking study is generally required to evaluate the availability of parking to serve the proposed use and to evaluate the impact the proposed use may have on availability of parking in the vicinity.
- Plat of survey. The plat must be accurate and prepared by an Illinois licensed land surveyor. The plat shall not be more than five (5) years old and must show the lot area, legal description, and all current improvements on the property.
- **Project plans.** Provide one full size set (to scale) showing the following minimum details:
  - <u>Existing and proposed floor plans</u> showing all levels of the structure being altered, highlighting proposed changes.
  - <u>Exterior Elevations</u> Provide dimensions, including height from grade. Highlight proposed changes.
  - <u>Site plan</u> Show and dimension all proposed additions and/or new structures and dimension all distances between the proposed additions and/or structures and the property lines.
  - Other It may be appropriate to include perspective renderings, site photos, landscape plans or other details depending on the nature of the project.
  - <u>Certificate of Appropriateness</u> to be reviewed by the Design Review Board.
- Application fee: \$1,200.00

#### Summary of process

The Village Planner reviews and processes the application materials. A legal notice is prepared by the Village, published in a local newspaper, and sent to surrounding property owners within 250 feet of the subject property. A public notice sign is also posted on site. The application materials are concurrently distributed to the Village Engineer as well as the Fire and Water & Electric Departments for comment. Application materials and department comments are transmitted in a staff report to the Plan Commission, Zoning Board of Appeals and Design Review Board, which act in advisory capacities to the Village Council.

#### Meeting notes

Applicants and/or their representative are required to attend the Plan Commission, Zoning Board of Appeals, and Design Review Board meetings in order to present their request and address issues raised by Commission and

Board members. All special use permits require final approval by the Village Council. Please refer to the following schedules of meetings and submittal deadlines:

ZONING BOARD OF APPEALS				
MEETING DATE	SUBMITTAL DEADLINE			
January 8, 2024	December 6, 2023			
February 12, 2024	January 10, 2024			
March 11, 2024	February 7, 2024			
April 8, 2024	March 6, 2024			
May 13, 2024	April 10, 2024			
June 10, 2024	May 8, 2024			
July 8, 2024	June 5, 2024			
August 12, 2024	July 10, 2024			
September 9, 2024	August 7, 2024			
October 14, 2024	September 11, 2024			
November 11, 2024	October 9, 2024			
December 9, 2024	November 6, 2024			

PLAN COMMISSION			
MEETING DATE	SUBMITTAL DEADLINE		
January 24, 2024	December 20, 2023		
February 28, 2024	January 24, 2024		
March 27, 2024	February 21, 2024		
April 24, 2024	March 20, 2024		
May 22, 2024	April 17, 2024		
June 26, 2024	May 22, 2024		
July 24, 2024	June 19, 2024		
August 28, 2024	July 24, 2024		
September 25, 2024	August 21, 2024		
October 23, 2024	September 18, 2024		
November 20, 2024*	October 16, 2024		
December 18, 2024*	November 13, 2024		

DESIGN REVIEW BOARD			
MEETING DATE	SUBMITTAL DEADLINE		
January 18, 2024	December 28, 2023		
February 15, 2024	January 25, 2024		
March 21, 2024	February 29, 2024		
April 18, 2024	March 28, 2024		
May 16, 2024	April 25, 2024		
June 20, 2024	May 30, 2024		
July 18, 2024	June 27, 2024		
August 15, 2024	July 25, 2024		
September 19, 2024	August 29, 2024		
October 17, 2024	September 26,2024		
November 21, 2024	October 31, 2024		
December 19, 2024	November 26, 2024		

## VILLAGE OF WINNETKA, ILLINOIS DEPARTMENT OF COMMUNITY DEVELOPMENT

# SPECIAL USE PERMIT APPLICATION

Case	No	
Lase	110.	

**Property Information** Site Address: 225 Sheridan Road, Winnetka, Illinois 60093 (Centennial Park) **Applicant Information** Name: Winnetka Park District Primary Contact: Costa Kutulas Address: 540 Hibbard Road City, State, ZIP: Winnetka, IL 60093 Phone No. 847-501-2052 Email: \_\_\_\_\_\_ckutulas@winpark.org **Architect Information** Name: The Lakota Group Primary Contact: Scott Freres Address: One East Wacker Dr. Ste. 2700 City, State, ZIP: Chicago, Illinois 60601 Phone No. 312-467-5445 Email: sfreres@thelakotagroup.com

Applicant Signature:
Property Owner Signature:
Printed Name of Owner: Shannon Nazzal

**Owner Information** Name: Winnetka Park District Primary Contact: Shannon Nazzal Address: 540 Hibbard Road City, State, ZIP: Winnetka, IL 60093 Phone No. 847-501-2052 Email: Snazzal@winpark.org **Attorney Information** Name: Ancel Glink Primary Contact: Adam Simon 175 E. Hawthorn Parkway, Suite 145 City, State, Zip: Vernon Hills, IL 60061 Phone No. 847-247-7400 Email: \_\_\_\_\_asimon@ancelglink.com

Date: 04/03/2024	
Date: 04/03/2024	

## VILLAGE OF WINNETKA, ILLINOIS DEPARTMENT OF COMMUNITY DEVELOPMENT

# SPECIAL USE PERMIT STANDARDS

Explain in detail how the proposed special use meets the following standards. Under the terms of the Zoning Ordinance, no Special Use Permit shall be granted unless it is found:

- 1. That the establishment, maintenance, and operation of the special use will not be detrimental to or endanger the public health, safety, comfort, morals, or general welfare;
- 2. That the special use will not be substantially injurious to the use and enjoyment of other property in the immediate vicinity which are permitted by right in the district or districts of concern, nor substantially diminish or impair property values in the immediate vicinity;
- 3. That the establishment of the special use will not impede the normal and orderly development or improvement of other property in the immediate vicinity for uses permitted by right in the district or districts of concern;
- 4. That adequate measures have been or will be taken to provide ingress and egress in a manner which minimize pedestrian and vehicular traffic congestion in the public ways;
- 5. That adequate parking, utilities, access roads, drainage, and other facilities necessary to the operation of the special use exists or are to be provided; and
- 6. That the special use in all other respects conforms to the applicable regulations of this and other village ordinances and codes.



Memorandum

#### Winnetka Park District

#### To: Ann Klaassen, Assistant Director of Community Development

#### From: Costa Kutulas, Director of Parks and Maintenance

# Subject: Special Use Permit Review #2 – Centennial Park + Beach 255 Sheridan Road – (Case No. 24-08-SU) Review Responses (WPD)

We greatly appreciate the Village of Winnetka's thorough review of the documents submitted for the Special Use Permit Review for Centennial Park + Beach (225 Sheridan Road). The following responses are a direct result of your insightful comments.

The responses are being provided in order as they appeared on the June 26, 2024, memo regarding the project review comments. All drawings are numbered to the correlating question answer, as noted in the responses here.

If additional clarification is needed after the staff reviews the responses and you would like to meet to discuss it, please let me know, and I will be happy to schedule a meeting.

If no additional questions are needed, please let us know the next steps and meeting schedules for the next step in our project's Special Use Permit review.

#### **Community Development Review Comments**

Staff Reviewers: David Schoon, Director – 847.716.3526, <u>dschoon@winnetka.org</u> Ann Klaassen, Assistant Director – 847.716.3525, <u>aklaassen@winnetka.org</u>

1. With your next resubmittal, please include a complete copy of your application materials (e.g., all plan sheets, narrative, support materials, written response to standards, etc.), whether or not the document has been revised/updated.

WPD Response: Included.

- Many of your responses to the first set of review comments need to be incorporated into your written applications materials, so that a complete application can be presented to the advisory bodies and Village Council. You will want to organize your application materials such that the advisory bodies and Council can easily understand your request.
   WPD Response: Included.
- 3. Given the application will not be for an amendment to an existing special use permit, please revise your narrative accordingly.

WPD Response: Included.

4. Your original narrative discussed providing ADA access to beachfront users. How might one



with a mobility limitation be able to take their dog to the dog beach portion of the beach?

WPD Response: The current plan does not provide wheelchair access to the off-leash dog beach. However, the current design does include an accessible staircase, utilizing the proper width and height of the stairs and handrails on both sides, which conform to the accessibility code and the Illinois Building Code.

5. Please incorporate into your application materials the manner by which "Emergency and maintenance vehicle access to the beach area" will be provided.

WPD Response: Included.

6. The special use standards narrative should also address how the requested exceptions meet the special use permit standards. These must be submitted in the written materials that will be included in the written agenda packet materials that go to the Plan Commission and Zoning Board of Appeals.

WPD Response: Included.

7. You must submit a narrative addressing how the requested variations meet the variation standards. This narrative is to be included with your application submittal.

WPD Response: Included.

8. Your response to the following questions from the first review should be incorporated into your written application materials.

WPD Response: Included.

Please provide detailed description of the proposed activities and uses that will occur in Centennial Park and Beach, including (a) on the dog beach, (b) on the "human" beach, including on the pier (c) on the slope impact area, as defined by Village Code Chapter 17.82, Steep Slope Regulations, and (d) on the entire tableland area of the park.

a. Provide a description of the types of activities that will occur in each of the four areas.

WPD Response: Included.

b. When will each of the four areas be open to the public? Time of the year, days of the week, time of day, etc.

WPD Response: Included.

c. Which areas would require a pass to access? Please provide details regarding the passes, such as who will be able to secure a pass, is a fee required, how does one secure a pass, and other operational details related to each type of pass.



WPD Response: Included.

d. Regarding each of the beach areas, would Park District personnel (e.g., lifeguards, security, etc.) be on site? How does one get into and out of the dog park? The beach to the north of the pier?

WPD Response: Included.

- e. Will there be a set of rules for use of any other of the four areas? Is so, please provide what those are? (You provided a weblink. Given most advisory body members and Council read a printed packet, you will also want to include a printed copy of the content from this web page.)
   WPD Response: Included.
- f. Regarding the dog beach, are there any other applicable State, County, etc. regulations which the dog beach must comply (e.g. fencing requirements, leash requirements, etc.)? If so, what are they, and please provide a narrative regarding how the proposed dog beach complies? (Have you been able to gain clarification regarding the Cook County ordinance regarding dog parks and fencing requirements?)

WPD Response: t was suggested that the Winnetka Park District su mit for a waiver at this time until the address this matter at a future date for all dog parks that a ut ake ichigan. Please note that we are looking to operate our dog beach similarly to our neighboring communities, which currently operate a secure off-leash dog beach on Lake Michigan that are fenced and gated on three sides of their beaches.

- g. For what parks and recreation activities will the tableland be used? Passive recreational activities or active recreational activities? Please describe.
   WPD Response: Included.
- Please provide any other details regarding the operational aspects for the four proposed areas of Centennial Beach and Park.
   WPD Response: Included.
- i. Will the proposed improvements and use of the park and beach increase the usage of the park and beach from its current activity level? If so, how will the existing on-site parking accommodate the increased usage?

WPD Response: Included.



9. Please see Engineering comments regarding the need to clarify the location of the slope impact area, which includes the steep slope zone and slope transition area through the use of topographic plan sheets and cross sections.

WPD Response: Reviewed and updated per engineering comments.

10. Our original question must not have been clear. When identifying requested exceptions or variations, you need to identify the degree of the exception or variation. For instance, if you are placing a fence on top of a wall/groin within the required front yard that will be taller than 6.5' from existing grade, you must identify how tall the fence and wall will be. If you have any retaining walls within the required front yard greater than 6.5' from existing grade, you must note the height of the retaining wall. If you are placing walkways within the steep slope zone that are wider than 5 feet, then you must identify the width of the walkway. If you have any landings within the steep slope zone that are greater than 50 square feet then you must note the width of the landing.

WPD Response: Included.

11. Note front yard setback line on Sheet CS-6.

WPD Response: Sheet CS-6A was substituted for sheet SC-6 in the last submittal, which did not include the front yard setback line. The front yard setback line was included and labeled on sheet SC-6A. For this submittal, Sheet CS-6A will be the sheet to reference for the remainder of the Special Use Permit Submittal for the Centennial Park and Beach Project.

12. Regarding tree preservation plan and a landscape plan see comments from Director of Engineering and Village Forester.

WPD Response: Ok.

13. The plat of survey should note lot area the toe of bluff.

WPD Response: Ok.

14. The response to the following question should be incorporated into your application narrative. Sheet C101 shows the fence for the dog park encroaching onto the "neighboring" property to the south. Please explain in your resubmittal why.

WPD Response: Included.

15. Regarding the dog beach fence on top of the sheet pile, what will be the tallest height of the fence and sheet pile from existing grade as it goes through required front yard? Given you are constructing Handrail A on top of the pier as well as the boardwalk, you need to provide the tallest height of each of these elements with the handrail on top. Please note all of these various height dimensions on plan sheets, as a variation are more than likely required.



WPD Response: Included.

- 16. Please provide details (materials, finishes, colors, design etc.) of all proposed improvements (e.g. retaining walls, railings, fences, boardwalk, pilings, outcroppings, lighting, groin materials, etc.). so that the Zoning Board of Appeals will have a better understanding of the need for the required relief (variations and exceptions).
  - a. What is the color of the handrails on Sheet C144?

WPD Response: Sheet C144 is now sheets C158-C159. Refer to Bid and Construction plan set dated 7-19-24. Hand railings for beach access are 316 Stainless steel with a brushed finish.

b. Provide details of ornamental fencing and reconfigured fencing identified on Sheets C137, C140.

WPD Response: Sheet C137 & C140 is not sheets C147 – C149, and C160. Refer to Bid and Construction plan set dated 7-19-24. The completed plans outline the relocation, installation detail and overview.

c. Sheet C141 identifies "Integral Color Concrete with California Finish See Shoreline dwgs", however, shoreline drawings were not provided.

WPD Response: Refer to Bid and Construction plan set dated 7-19-24. Concrete colors shown on sheets C152-C154, and shoreline drawings are C103-C123.

d. Will the new concrete walk and reconfigured concrete walk identified on Sheet C137 have same integral color with California finish?

WPD Response: The new concrete walk and reconfigured walk are shown on Sheets C131-C132. Refer to Bid and Construction plan set dated 7-19-24. These walkways do not have an integral concrete finish. See concrete finish note #2 on sheet C131.

e. What is the stain finish or integral color concrete for wood pattern of boardwalk?

WPD Response: Refer to Sheet C154 in Bid and Construction plan set dated 7-19-24, this notes outline the detail breakdown for the finish and release colors.

f. Provide details of proposed bench seat wall.

WPD Response: Refer to Sheet C165- item 1 for Backed Bench at Bulkhead in Bid and Construction plan set dated 7-19-24.



g. Will the relocated dog rinse station be painted to match the proposed chrome foot rinsing station?

WPD Response: The dog rinse station will be replaced with a new unit to match the foot wash station. Refer to Sheet C165 in Bid and Construction plan set dated 7-19-24.

h. Provide details of proposed concrete retaining wall/walkway retaining wall. Referenced shoreline drawings were not provided.

WPD Response: Refer to Shoreline Drawings C132-C138 for retaining wall/walkway retaining wall in Bid and Construction plan set dated 7-19-24.

i. Sheet C138 calls out Detail 6 on Sheet C142, but there isn't a Detail 6 on Sheet C142. Should it be Detail 2 on Sheet C141?

WPD Response: Refer to drawings C152-C153 in Bid and Construction plan set dated 7-19-24 for details previously noted on C138 Detail 6.

j. What are the physical components of the beach attendant area on Sheet C138?

WPD Response: The proposed beach attendant area will have a movable modular cabinet, similar to the stations used at Tower Beach and Maple Street Beach.

k. Why is there a handrail only along the south side of the pier and not around the entire outside edge of the pier (Sheet C140)?

WPD Response: The handrail noted in comment "K" regarding the previous sheet, C140, has been updated to sheet C147 in Bid and Construction plan set dated 7-19-24. It's shown as a handrail but doubles as the north side fencing to secure the off-leash dog beach. The pier is surrounded by armor stone (Refer to sheet C130) at an elevation of 583' and raised to 585' surrounding the easternmost end of the pier.

I. On Sheet C138 is a storage shed. What is it for? Please provide details (e.g., dimensions, materials, purpose, etc.)

WPD Response: The storage shed will secure the lifeguard supplies from night to night during the swimming season. We imagine the storage shed to be roughly 7' long with a depth of 4' and a height of 4'. It would secured to the boardwalk for the summer months, and removed off-season when not in use. We have not decided if it will be a pre-manufactured shed or one built in-house. I would assume that if it is a pre-manufactured shed, it might be a tan/brown in color and plastic or some type of



poly material. If we build the shed, it would most likely be made of wood (maybe cedar or Ipe).

m. Provide details of proposed lights that will cast down on boardwalk. Based upon your response, it appears these are different than the bollard lights.

WPD Response: Reference sheet C171 in Bid and Construction plan set dated 7-19-24 for the Ballard Detail.

17. Provide details on how the boardwalk would be constructed and what it would be constructed of.

WPD Response: Refer to final plan drawings C102-107, C109-C112, C114, C117, C144, C152 and C154 for plan drawings and cross-sections, materials, design, color and finish of the constructed boardwalk in Bid and Construction plan set dated 7-19-24.

18. Include photo of existing ornamental fencing that is going to be reconfigured.

WPD Response: Attached.

19. Your narrative and plan documents can do a much better job of telling the story of how your proposed changes significantly impact or not the steep slope zone. Including photos of what is existing and then some sort of cross section, perspective, etc. of what is proposed would be helpful. How will the walkway impact the slope impact area? How will the boardwalk impact the slope impact area. Also, continue to think of how you can help the advisory bodies understand the pier, its height and scale. Helping the advisory bodies understand what is there and what would be there will be helpful.

WPD Response: Ok.

#### **Engineering Review Comments**

#### Staff Reviewer: James Bernahl, Director of Engineering – 847.716.3261, jbernahl@winnetka.org

- 1. Per the recently adopted steep slope ordinance, a copy of which is attached, you must demarcate the location of the slope impact area, which includes the steep slope zone and the slope transition area, in plan view and provide cross sections every 25 feet. If you have any questions, please reach out to the Engineering Department. Submittal must also provide information supporting how conceptually the design of the proposed plan within the slope impact area meets the Development Standards of Section 17.82.050.
  - a. PD Response: The Plan Sheet and Cross Sections are noted in drawings CS-6 CS-10.
  - b. Engineering Response: Cross sections need to be updated based on the preliminary *coastal engineer review*. Please refer to marked up cross sections provided.



- c. WPD Response: Completed, plans were updated to match the marked up cross sections from Rob Narin. See attached cross sections.
- 2. Provide plan sheets showing sheet pile bulkhead/shoreline layout and detail section plans for major components. This is necessary to better understand the design and impact of the boardwalk, ADA ramps, stairs, etc. Also, to better understand the beach that is being created and its impact, show plan sheets for the sand fill limits and the amount of sand to be brought in would be helpful to evaluate the proposed design of the overall improvements.
  - a. PD Response: The Plan Sheets for these cross sections are still in development and will be shared once completed.
  - b. Engineering Response: Not completed
  - c. WPD Response: Final Plans for the Centennial Project are included in this submittal. Please review the Bid and Construction plan set dated 7/19/2024.
- 3. Recommend that proposed 7-foot-wide pathway be continued to the circular vehicular island to create consistent accessibility and improved drop off/pick up.
  - a. Response: Updated per Request, increased to 10' to accommodate maintenance equipment.
  - b. Engineering Response: Ok
  - c. This is shown on Sheet C131-132 in Bid and Construction plan set dated 7-19-24.
- 4. Proposed breakwater elevation will allow for wave action over the top of the proposed walkway, consideration should be given on how to improve safety at this location. Consideration should also be given to eliminating accessibility for pedestrians to walk onto the stone groin rocks.
  - a. Response: We are proposing adding additional signage and a gate as needed to secure the pier with adverse weather conditions.
  - b. Engineering Response: What kind of fencing and signage will be provided, and at what locations? Have you received any guidance from the regulatory agencies regarding what will be required? At this point in time, please provide information on the plan documents in terms of what you are currently thinking for such signage and gate. This item will likely need further review during the final permitting process as the regulatory agencies may have additional comments on what can be approved.
  - c. WPD Response: We plan on installing interchangeable signage as we have for our other swimming beaches, which will inform the public of the lake conditions. These signs will be monitored and changed as needed throughout the season. In addition to the signage, we are anticipating installing barricades as necessary to prevent the use of the pier during the high lake conditions where there could be an opportunity for waves to top the pier. We are considering using a type 2 barricade, which will block the western entrance to the pier under those high lake conditions.
- 5. Will electrical service be required for the dog park FOB system or lights? If so, plans should highlight these locations and possible transformer locations.



- a. PD Response: Electric for the dog beach gate and bollard lighting is required. The power distribution boxes are anticipated to be located on the bluff above an elevation of 591' or greater. Electrical Plans are being finalized and can be sent to the Village of Winnetka Engineering Department upon request.
- b. Engineering Response: Not completed. Further review should include comments from Water and Electric on final design.
- c. WPD Response: Refer to Bid and Construction Plans dated 7-19-24 sheets C168-C172 for the location of transformer locations.
- 6. Does the Park District plan on adding pedestrian lights along the pathway from the parking lot to the beach access, or will lights be installed along the boardwalk?
  - a. PD Response: At this time, no lighting is proposed running along the pathway from the parking lot to the top of the ADA access walkway. Low-level bollard lights are strategically provided at transition points along the public ADA access ramp to the beach at the staircase at the bottom of the ramp where it transitions to the boardwalk. Additional lighting is provided at critical points along the boardwalk on the west side of the boardwalk cast onto the walking surface. The Park District does not want to encourage use of the park after hours but still provide a safely lit area should anyone need to access the beach after dark.
  - b. Engineering Response: Recommend that lighting be provided for dusk closing to provide similar light along entire path for same hours of operations. Final electrical design should include comments from Water and Electric Department.
  - c. WPD Response: The final lighting plan is shown on Sheets C168-C172 of the Bid and Construction Plans dated 7-19-24. This section of the plans identifies the location of all bollard lights.
- 7. Park District should coordinate with the Police Department on placement of additional security cameras throughout the site.
  - a. PD Response: Currently no security cameras are proposed. Staff can have a discussion with Police if there is a requirement.
  - b. Engineering Response: Police will require the addition of security cameras. Coordination with Police Department should continue on final design and locations.
  - c. WPD Response: At this time, security cameras have not been added to the project. We have built into the project additional conduit chases to allow for future installation of cameras.
- Should the Council approve the requested exceptions for the Steep Slope ordinance, Engineering Department will still require detailed analysis of geotechnical and structural review for proposed walkway, retaining walls, board walk, and other proposed improvements within the slope impact area.
  - a. PD Response: Will provide upon request.
  - b. Engineering Response: Not completed.
  - c. WPD Response: Refer to the Bid and Construction Plan set dated 7-19-24 for all design



review of the improvements being proposed for the Centennial Project. Engineering calculations can be provided upon request.

- 9. Engineering Department will require steep slope stabilization planting plan.
  - a. PD Response: The restoration planting design takes into account the need for slope stabilization both in the plantings being specified and through additional design measures including seed blanket and erosions control mat as described in Community Development Review Comment Response #5. Cut sheets are provided for the blanket and erosion control mat, see supplemental information attached.
  - b. Engineering Response: Please see previous comment above about providing a more detailed planting plan. The landscape plan shows a list of targeted plantings and plugs; however, you need to identify the specific planting materials and where they will be planted for this project. Also identify what best management guidelines are being followed in selecting materials.
  - c. WPD Response: Refer to sheets C178-C181 of the Bid and Construction Plan set dated 7-19-24 for detailed outline and planting notes for the different areas of restoration thought out the project site.
- 10. If any trees are proposed to be removed as part of the proposed improvements coordination with the Village Forester is required at this time. Tree mitigation will be considered as part of final approval.
  - a. PD Response: Tree removals and preservation plan is provided with tree mitigation chart located on sheet C136. A portion of required replacements are shown on the Landscape Plan for restoration objectives, see sheet C139. It is the Park District's intention to balance restoration objectives with the community's interest to preserve views to the lake.
  - b. Engineering Response: Village Forester will finalize tree mitigation as part of final permitting process.
  - c. Forestry Response: If replacement inches cannot be planted at construction location without obstructing lake views, the remainder of the replacement inches will need to be planted elsewhere in the park or in another park as a last option.
  - d. WPD Response: Refer to sheets C143 for proposed removals and sheets C145-146 for the planting schedule of the Bid and Construction plan set dated 7-19-24. As required, additional trees will be planted at another park location within the community.
- 11. Proposed fence around dog park, specifically along the southern end of the dog area, will need to be placed far enough away from the existing steel groin and new stone groin on neighboring property to allow for ample safe passage between the properties.
  - a. PD Response: The proposed dog beach fence is to be located on the existing steel groin to the south, offset 6' min. width from the newly installed stone groin at the south neighbor property, as shown on sheet C138.
  - b. Engineering Response: Recommend a larger space between the two elements be provided, as a wider pathway opening would be preferred to allow for easier passage and for access of emergency equipment to the adjoining property.



- c. WPD Response: The dimension verified in the field is a minimum of 6' between two currently fixed structures, the new stone breakwater built on 205 Sheridan Road Property and the current southernmost steel groin, which has been in place for over 70+ years. The 6' dimension is from the newly built passage steps across the 205 Sheridan Road Breakwater and widens from there as you move west to over 10' plus as you approach the existing steel groin. The area between the western off-leash dog fencing and existing steel sheet piling is greater than 12', which leaves ample room for access. The fencing plan is detailed on sheet C147 of the Bid and Construction plan set dated 7-19-24.
- 12. The new ramps are in conflict with two existing private storm sewers. The layout and renderings indicate the sewers will be removed. It also appears there is not a clear plan to replace the drainage function these provided. This could end up in debris and sheet flow onto the ramp and over the back of the retaining wall. Consider adding a drainage system to capture runoff up stream of the retaining wall.
  - a. PD Response: This is currently being reviewed/designed with the project engineers and can be sent to the Village of Winnetka Engineering Department upon request.
  - b. Engineering Response: Not completed.
  - c. WPD Response: The two "existing private storm sewers" are currently shallow drainage curbs that allow rainwater to pass down the existing bluff. Those two shallow drains are being proposed to be removed and will not be required moving forward. The new walkway has a retaining wall running parallel on the western upslope side, designed with a 6" drain tile to collect this water. That, along with the changes within the bluff, including plantings and grading, will alleviate the need for these shallow drain curbs. Please reference sheets C138-C139 of the Bid and Construction Plans set, which outline these items.

#### **Other Review Comments**

#### Staff Reviewer: James Bernahl, Director of Engineering – 847.716.3261, jbernahl@winnetka.org

- 1. Provide a tree preservation plan and a landscape plan, including a list of proposed plant materials?
  - a. PD Response: Tree preservation plan is provided, see sheet C136.
  - b. Forestry Response: Tree preservation fencing should be noted as 6-foot, chain link.
  - c. WPD Response: Refer to sheet C102 of the Bid and Construction plan set dated 7-19-24, this adjustment has been included.

#### Coastal Engineer, Rob Nairn, Baird, Review Comments:

Below are our initial comments for your consideration:

1. The proposed improvements appear to improve access for the public and public safety



operations. However, the boardwalk terminated at the North end is unclear in the information provided. Please clarify the north end in more detail.

- a. PD Response: The termination of the north section of the boardwalk was chosen to give enough space to protect the ADA beach ramp, and space for patrons to have an area to view the beach and lake without having to go down to the beach itself. We anticipate connecting this boardwalk to Elder Lane Beach as part of a future phase.
- b. Coastal Engineering Response: Noted
- c. WPD Response: Nothing required at this time.
- Elevation of proposed pier (585' IGLD) seems justifiable since it is for pedestrian access. As conceptually submitted, this meets the "minimally necessary to achieve the intended and proper purpose" requirements in the lakefront construction ordinance. However, the proposed pier will be frequently overtopped by waves and the concrete promenade should be detailed accordingly.
  - a. PD Response: WPD received the comment.
  - b. Coastal Engineering Response: Noted
  - c. WPD Response: Nothing required at this time.
- 3. Proposed pier extends deeper/ further lakeward than existing steel sheet pile groin, will impact the shoreline shape, and should improve the shoreline/bluff protection in the immediate vicinity. The beach cells should be prefilled to minimize impacts to longshore sediment transport. I would expect the permit application to include an analysis of the impacts to sediment transport and how the proposed shape of the beach fill was determined.
  - a. PD Response: WPD received the comment.
  - b. Coastal Engineering Response: Noted
  - c. WPD Response: Nothing required at this time.
- 4. Overall, this plan set is more conceptual and includes less technical design information to comment further. These comments do not waive any future permitting requirements for lakefront construction ordinance or steep slope ordinance reviews.
  - a. PD Response: WPD received the comment.
  - b. Costal Engineering Response:
    - Lakefront Construction Ordinance (Chapter 15.78 of the Village Code) The WPD provided no additional information on the coastal structures (i.e., rubblemound groin, concrete access/overlook) or beach nourishment for us to review to determine if the project is in conformance with the Lakefront Construction Ordinance. Please submit more detailed drawings and a design narrative (basis of design). The project will impact sight lines but likely meets the "no more than minimally necessary to achieve the intended purpose of the project" requirement in the ordinance.

WPD Response: For full drawings of the proposed improvements for the entire Centennial Project, refer to the completed plan set for bid and



construction dated 7-19-24. The proposed heights of the shoreline elements are noted on the plans and have been reduced based on community input and feedback from the last 18 months of planning and outreach.

*ii.* - Steep Slope Ordinance (Chapter 17.82 of the Village Code) – There are numerous non-conforming elements which are identified by the applicant throughout the preliminary permit materials. The drawings provided details on landscaping, appurtenances, and architectural finishes. Structural details for the boardwalk and concrete access ramp are not included in the revised drawing set.

WPD Response: Structural details for the boardwalk and concrete access ramp for the entire Centennial Project, refer to the completed plan set for bid and construction dated 7-19-24.

- 5. Referring to 17.82.060, A, (8): I would not waive any of the required plans given the amount of development in the steep slope zone.
  - a. PD Response: WPD received this comment.
  - b. Coastal Engineering Response:
    - i. Permit Drawings with Zones Identified WPD provided this information. We have provided some minor markups on WPD's interpretation of the steep slope zone, slope transition area, and slope impact area (see attached).

WPD Response: Cross-sections have been updated per noted with Baird's markups, included in submission.

ii. Construction Means & Methods Narrative - Not provided for review.

WPD Response: Refer to the bid and construction plan set date 7-19-24. The project is designed to be marine-based coastal, with upland work completed as land-based. The contractor completes the construction means and methods based on the drawings and specifications for the project.

iii. PE Seals - Not provided.

WPD Response: Refer to the completed plan set for bid and construction dated 7-19-24 sheet T101.

iv. Subsoil Investigation - Not provided for review.

WPD Response: WPD Response: Refer to the completed plan set for bid and construction dated 7-19-24. Completed soil boring can be provided upon request.



v. Grading Plan – Incomplete. The WPD provided some information on the proposed grading plan throughout the plan set.

WPD Response: Refer to the completed plan set for bid and construction dated 7-19-24 sheet.

vi. Hydrological Control Plan - Not provided for review.

WPD Response: Refer to the completed plan set for bid and construction dated 7-19-24 sheet.

vii. Vegetation Plan – Incomplete. WPD did not provide a (c) maintenance and monitoring plan or (e) the timetable and sequencing program.

WPD Response: Refer to sheets C178-C181 of the Bid and Construction Plan set dated 7-19-24 for detailed outline and planting notes for the different areas of restoration thought out the project site.

#### **Fire Department Comments**

Staff Reviewer: John Ripka, Fire Chief, 847.716.3303 - jripka@winnetka.org

No additional comments.

#### **Police Department Comments**

#### Staff Reviewer: Brian O'Connell, Police Chief, 847.716.3400 - boconnell@winnetka.org

1. Does the Park District plan to turn off the lighting at the time the park closes? Or will the lighting remain on permanently through the overnight hours? The Police Department recommends that the lighting is turned off at the time of park/beach closing.

WPD Response: The lighting control circuit is set with a timer, and is anticipated to be set based on the Police Departments Recommendation.

2. The Police Department recommends that the Park District take this opportunity to upgrade/mirror similar security camera measures used at other public beaches in the community at this location as this new design can anticipate an increased number of guests visiting Centennial Park throughout the season. The Police Department has partnered with the Park District for review of these cameras at other locations for criminal and other investigations. The Police Department has also responded to incidents at this location over th years where security camera footage would have assisted in the resolution of other situations



(i.e. disputes, dog bites, etc.)

WPD Response: At this time, security cameras have not been added to the project. We have built into the project additional conduit chases to allow for future installation of cameras.

#### Water & Electric Department Comments

Staff Reviewer: Nick Narhi, Director of Water & Electric, 847.716.3553 - nnarhi@winnetka.org

No comments on the proposed improvements at this time.

END

Winnetka Park District - Special Use Permit Application Narrative for Centennial Park and Beach Project

#### Introduction

The Winnetka Park District (the "District") is seeking a Special Use Permit, exceptions from the Steep Slope Regulations and related Variances to allow the construction, maintenance and operation of proposed improvements at Centennial Park and Beach as outlined in the plans. The District proposes the improvement project for Centennial Park and Beach to implement the Winnetka Waterfront 2030 Master Plan with goals to protect and improve access and safety for the community.

#### **Relief Requested**

1. Under the Winnetka Zoning Ordinance, a "nonessential public use" includes a use affected with the public interest, regardless of ownership, including uses owned and operated by local governments other than the Village. Section 17.56.020 of the Winnetka Zoning Ordinance establishes nonessential public uses as special uses in all districts within the Village. Consequently, the Park District is seeking a Special Use Permit to ratify and expand the public recreational use of Centennial Park and Beach within the R-2 single-family residential district.

2. The project outlined in the plans meets some of the requirements outlined in the recently enacted Steep Slope Regulations, codified at Chapter 17.82 of the Winnetka Zoning Ordinance. As permitted by Section 17.82.110, the submitted Special Use Permit application also asks for "exceptions" from Chapter 17.82 for items included in the plan that protect the beach, bluff, and tableland for the Centennial Park and Beach site.

3. Section 17.30.050.C.7 of the Winnetka Zoning Ordinance establishes the front yard setbacks for lakefront properties. The regulation states the required front yard setback is the toe of the bluff or 50 feet from the ordinary high-water mark, whichever results in the line farthest from the ordinary high-water mark. The District's proposed plans include improvements which do not otherwise qualify as permitted obstructions in required yards, as defined by Section 17.130.130.A. For those improvements we are requesting variances to permit construction as presented in the plans.

#### Background

The redevelopment planning of Centennial Park and Beach began in 2014 with the District's Winnetka Waterfront 2030 Master Planning process. When the Winnetka Waterfront 2030 Plan was adopted in 2016, it set the stage for the District's investment in the lakefront. The initiatives and founding pillars of that plan, along with the near-all-time high lake levels from 2020, have made this project a priority for the District. The Winnetka Park Board has been invested in this

project for several years and they have not wavered from the responsibility to repair the beach and protect the beach and bluff for future generations to come. This narrative supports the District's application by demonstrating that the proposed Centennial Park and Beach project meets the standards for granting a Special Use Permit and the related variances. Additionally, the narrative addresses comments from the Special Use Permit review process, outlines access and operational details, and provides a clear overview of the project's components and intended use. The District is excited for the opportunity to meet with each one of the different review boards and commissions, not only to present the project but also to tell the story of why this is a wonderful opportunity to allow the District to reinvest in one of the greatest and most unique amenities that Winnetka has to offer its residents.

In Section 17.56.120 of the Winnetka Zoning Ordinance, the Special Use Permit process outlines six standards that must be met and reviewed by each review board and commission as a condition of granting a Special Use Permit. This narrative shows that the District is proposing a project that clearly and unequivocally meets those standards and has been well-vetted with public input and feedback from the community every step of the way.

In Section 17.60.040 and 17.60.050 of the Winnetka Zoning Ordinance it describes the evidence to be presented in support of a variance application and the standards for granting such relief. This narrative summarizes the facts in support of the District's application to construct improvements within the front yard of Centennial Park and Beach facing Lake Michigan, as defined by Section 17.30.060 of the Winnetka Zoning Ordinance. The District's application shows it clearly satisfies all the evidentiary standards.

#### **Project Summary**

The Centennial Park and Beach project (the "Project"), is designed with a clear purpose to protect the bluff and tableland from erosion due to high lake levels and waves, improve site access and accessibility, create greater lake access for all community members and secure the off-leash dog beach. The District is proposing to restore and improve a public beach that can be used for both swimming and recreational uses, while maintaining an off-leash dog beach, and investing to secure the dog beach with fencing on three sides.

The Project was designed while considering many factors, including (1) the former use of Centennial Beach as a swimming beach, (2) the historical use of Centennial Beach as a dog park for the past 30 years, (3) the existing uses of nearby properties, (4) protecting and enhancing neighborhood property values, (5) promoting the public's health, safety and welfare, (6) the suitability of the property for the proposed uses and improvements, (7) the amount of time the beach has been closed due to shore erosion, and (8) the community's expressed desire for the proposed use. The Project also considers accessibility, newly adopted Village of Winnetka ordinances, County, State, and Federal laws and regulations, ongoing and future maintenance needs, community input and low impact to the community.

The Project which is proposed for Centennial Park and Beach includes a range of elements, such as:

- Swimming Beach;
- Off-leash dog beach with fencing and double entry gate system and stairs;
- Bluff clearing and restoration;
- Steel sheet pile replacement;
- New steel sheet pile bulkhead;
- Accessible boardwalk;
- Accessible pier with armor stone groin surrounding the pier;
- ADA beach ramp;
- Beach stairs (2), Low level safety bollard lighting;
- Boardwalk access staircase;
- Concrete ADA accessible walkway retaining walls;
- Reconfigured paver walkway; and
- Outcropping stone steps.

These elements are divided into two sections for zoning review: Chapter 17.30, Section 17.30.050 Front and Corner Yard Setbacks, and Chapter 17.82, Section 17.82.040 Development in Steep Slope Zone. The variations and exceptions being requested are outlined in the narrative and the chart titled "Non-conforming Elements" and can be viewed in the final plans submitted with the Special Use Permit application.

#### **Project Elements**

**Human Swimming Beach (Reintroduction):** Centennial Beach was once a swimming beach for the community before the development of the dog beach in 1995. The proposed human swimming beach will operate to the same standards as our other swimming beaches, such as Tower Road Beach or Maple Street Beach. The proposed swimming beach is 250 feet in length.

The sand elevations, compared to the new proposed pier, start 18" below the western most elevation of the pier. Moving east, the sand profile gradually drops to the water level.

The anticipated use for the human swimming beach includes swimming, sunbathing, passive recreation activities, sandcastle building, and other activities you would expect on a public beach. Currently, there is no proposed sailing, kayaking, paddle boarding, or other activities that include using a boat or watercraft of any kind.

Below is a list of the current beach rules we anticipate enforcing at Centennial Swimming Beach.

**Swimming Beach Rules:** The following regulations will be implemented by the Winnetka Park District staff during hours of operations to ensure that all beach users will be able to use, understand and will follow all rules when they are at the beaches.

1. Hours of Operation are 9am to dusk.

2. When lifeguards are not present, swimming is not allowed.

3. Swimming is allowed only in the supervised swimming areas as posted at each beach.

4. Parents and guardians are responsible for the supervision of children.

5. Children 9 and under must be accompanied by an adult.

6. Coast Guard approved life jackets are allowed when the child is within arm's reach of their parent. All other floatation devices are not allowed.

7. No scuba or snorkeling equipment is allowed.

8. Children who are not toilet trained must wear tight fitting plastic pants or swim diapers.

9. Beach facilities will be closed whenever water is considered unsafe by Health Department or lifeguards.

10. There is no roughhousing or horseplay allowed. Lifeguards will enforce this rule to ensure the safety of others.

11. No skateboards, bicycles, roller skates, or similar items allowed at beach.

12. No throwing rocks or sand in the swimming areas.

13. No jumping off piers.

14. No fires, including grills, are allowed on the beach.

15. Glass containers are not allowed on the beach.

16. No alcohol is allowed on the beach.

17. Smoking is prohibited at all Winnetka Park District facilities.

18. Dogs are only allowed at Centennial Dog Beach. Village Ordinance #504 will be enforced.

19. Motorized vessels are only allowed at Lloyd Boat Launch.

20. Non-motorized vessels are only allowed at Lloyd Boat Launch.

21. The Village of Winnetka Police Department maintains a regular patrol of the beach and enforces all Park District ordinances.

22. All other state and local health codes apply.

We anticipate operating the Centennial Swimming Beach from May 25 to September 2 (estimated) from year to year, and the beach would be staffed with personnel during the hours of operations for those dates. The beach would be closed off season (prior to May 25, and after September 3) for swimming but still open for beach goers to enjoy the beach.

There is no zoning relief needed for the swimming beach, this was to provide perspective on operations.

**Off-Leash Dog Beach:** The proposed off-leash dog beach is an existing on-leash element at Centennial Beach today and will remain per the project plans. The District has operated the dog beach since 1995, allowing controlled access to a single type of activity. The proposed off-leash dog beach will be reduced in size to allow for the re-introduction of the human swimming beach. The proposed 240' dog beach will be controlled with a double entry gate system and electronic key fob system, which will allow access for the registered users. The dog beach will be surrounded on the west and south boundaries by 5' black fencing on the beach. The northern boundary of the off-leash dog beach will be the pier structure and have a 42" black handrail (Type A) providing the required security. The eastern side of the dog beach will be the natural barrier of Lake Michigan.

On the southern end of the site and dog beach perimeter there is an existing steel groin running perpendicular to the existing steel sheet piling (seawall) at the toe of the bluff. The steel groin runs approximately 145-feet east into the lake, with a western elevation of 583.2' and an eastern elevation of 581.70'. Roughly 65 feet off the seawall, the existing steel groin crosses the south property line of Centennial Park. At this point, the steel groin is beyond the ordinary high water mark of 581.5'. The portion of fencing on the south perimeter of the dog beach will be installed on top of the existing steel groin going east into the lake approximately 103 feet. The 5-foot height fence may step down to maintain a maximum overall height of 6.5-feet off the adjacent proposed sand contours. The proposed fencing can be seen on sheet C161 of the construction plans.

Approximately 12.5-feet offset from the existing seawall along the toe of the bluff, the 5-foot height dog beach perimeter fencing continues north-south along the west edge of the dog beach area. This offset allows the public to cross Centennial Beach without walking through an active off-leash dog beach. A 10-foot-wide maintenance access gate is situated along this fence line, allowing access for beach maintenance equipment. This gate will be secured and operated as needed by maintenance personnel only.

The 42-inch-high (Type A) handrail will double as a fence on the pier and boardwalk to further secure the off-leash dog beach. In addition, a line of armor stone creates a border along the south of the pier, helping further separate the pier and the off-leash dog beach. The fencing is mounted to the pier and boardwalk at a consistent height of 42-inches. When viewing the fence line from the dog beach side, there will be a visual incline due to the sand contouring. The proposed grading for the dog beach sand fill is as follows: The westernmost sand elevation is set at 585.0', sloping at 11:1 to 583.0'. The slope then increases at 8:1 to an elevation of 578.0', then flattens again to a slope of 20:1 to elevation 575.0'.

To access the off-leash dog beach, there is a single concrete access stair of the boardwalk within the secure entrance area. The stairs are designed to be constructed with concrete within a steel sheet pile cell to support the harsh lake environment. The stairs have a 6-foot-wide clearance with handrails on both sides. The stairs are designed with accessibility in mind, using acceptable materials with the proper rise and run for the treads and appropriate returns on the handrails. The bottom of the stairs are set to an elevation of 579.33' to allow for the fluctuating sand levels. The handrails are 1.5-inch brushed stainless steel round tubing set at 42-inch height. The detailed design can be viewed on Sheet C159.

The dog beach is operated year-round (excluding high wave events) from sunrise to sunset for the community's enjoyment.

To receive a dog beach pass, each applicant must complete a Dog Beach Pass Application which includes: owner information, pet information, vaccine certificate with vet signature, insurance acknowledgement (waivers, rules, waring of risk, release of all claims, indemnification agreement, assumption of rick, and policies). All applicants must adhere to dog beach rules anticipated below, though they may be changed by the Park Board.

#### Anticipated Off-leash Dog Beach Rules:

- 1. Leashed Area: Park + Parking Lot + walkways and boardwalk.
- 2. Only unleashed area is area inside the dog beach gate and dog beach itself.
- 3. You are solely responsible for the actions of your dog.
- 4. Leashes must not exceed 8 feet.
- 5. You must bring your electronic key fob each visit.
- 6. Attendants are not allowed to let anyone through the gate without a fob.
- 7. Keep an eye on your dog and keep your dog's leash with you at all times.
- 8. For safety reasons children must be at least 10 years of age to use the park and they must be closely supervised.
- Children will be expected to behave in an appropriate manner: no running, no chasing dogs, no petting of other dogs unless permission is granted from the owner first.
- 10. Be polite: pick up dog feces and dispose of the dog feces in the waste receptacles, which are available throughout the park.
- 11. Dogs must wear current license tag and be up-to-date on shots.
- 12. Fill any holes your dog digs.
- 13. No more than 2 dogs per person on any one visit.
- 14. Check with your veterinarian before bringing a puppy under the age of four months to the park.
- 15. No dogs known to be aggressive toward other dogs or people may enter the area.
- 16. Owners/handlers are asked to closely supervise their dogs and at no time should anyone leave the area without his/her dog(s).
- 17. Do not bring rawhide or food into the dog area as dogfights may result.
- 18. Please remove pinch and spike collars from your dog prior to entering the beach.

19. Hours are sunrise to sunset.

The District has also reached out to Cook County Department for Animal Control for guidelines on how best to address the eastern barrier of the off-leash dog beach. It has been suggested that the District submit for a waiver until Cook County Animal Control is able to address this matter for all dog parks that abut Lake Michigan.

Bluff Clearing and Restoration: The bluffs will undergo an extensive clearing of invasive species and dead and dying trees to improve the overall health of the vegetated environment. The proposed work is outlined in the attached plans, sheets C178-C181. An estimated 1.34 acres of invasive and noxious species control is proposed to be completed on the Centennial Park bluff. There are approximately 30 different target invasive species identified on the removal list. This list includes a handful of various deciduous tree species that can be detrimental to the bluff environment if left uncontrolled and unmonitored. The plan outlines the four different restoration zones and strategic planting plans, dependent on the impact of construction and best management practices for each bluff zone. These four zones include the bluff restoration zone (23,800 sq. ft.), the green gabion wall zone (3,200 sq. ft.), the dune grass planting zone (800 sq. ft.), and the turf restoration zone (31,162 sq. ft.). All of these different zones combined account for the required installation and long-term maintenance to reestablish the bluffs and repair disturbed areas affected by construction. As part of the slope planting, the seed and plugs will be covered with a two-layer erosion control fabric while the plant material is established to minimize erosion. To replace the trees removed from the bluff, we will re-plant nearly 30 caliper inches of new trees on site, and the remaining replacement caliper inches at other park locations within the agency. This entire process will allow for greater views and vistas of the lake, one of the highest-ranked pillars of the Waterfront 2030 Lakefront Master Plan and a point of emphasis from public input.

#### Variations for Section 17.30.050 Front and Corner Yard Setbacks

As outlined in Chapter 17.30, Section 17.30.050(C)(7) Front yard setback for Lakefront Properties, it's noted that the required front yard setback is the toe of the bluff or 50 feet from the ordinary high-water mark, whichever results in the line farthest from the ordinary high-water mark. Nonetheless, Section 17.30.130(A) describes permitted obstructions in required yards. Village staff have issued an opinion that the District's vertical improvements in the front yard are characterized as either a wall or a fence, as described in Section 17.30.130(A)(10). Based on the District's review of these sections and staff's code interpretation, we propose including the following project elements as variations since they exceed a height of 6.5' from grade. The work proposed in the lakeward front yard includes the following elements which exceed 6.5' tall: Boardwalk with Type A handrailing (fencing), a 226 foot long elevated pier structure with armor

stone surround. The improvements listed below are those elements of the project that fall within the Ordinary High-Water (581.5' OHWM) Mark and the 50' setback associated with section 17.30.050 of the zoning code.

As outlined in the "Non-conforming Elements Chart", the maximum variation requested is 4' over the allowed 6.5' height as measured from the existing grade. This is outlined in detail in the "Nonconforming Elements" chart. Please note, as part of our overall proposed plan, the District has included sand nourishment for the two beaches and once completed the overall height variances will fall within the acceptable limits of the zoning requirements. The District, through its consultants, designed this element while listening to feedback from the community and with what would be minimally required from a coastal engineering perspective.

Based on the information and the zoning requirements, there is a small 6' section requiring a variance. The south 6' of the Type A handrail is set at 592.0' elevation, 9.5' above the existing sand profile. At this time, the District is requesting a zoning variance of 3' for this 6' section of Type A handrailing and pier. Please note, once the project is completed, and the sand is placed on the beach, the overall height for this area will fall within the 6.5' zoning requirement for the front yard setback.

**Steel Sheet Pile Replacement:** Located on the northern property line, north of the existing steel sheet wall, a combined wooden timber, steel I beam, and steel sheet piling hold back the bluff section. Due to the age of these structures and materials, this structure has the potential risk of failure, causing severe erosion concern for the northern portion of bluff. The District is preparing to correct this issue by installing a new line of steel sheet piling in front of the existing timber wall as a best practice repair. The proposed wall would consist of about 25 sheets of PZC-18 Steel Sheet Pile Bulkhead wall (roughly 52 feet in length), with a 3/8" bent plate cap welded on top of it. These 25-foot-tall sheets will be driven in place to a finish elevation of 592' to create the new vertical sheet piling wall with a height that does not exceed 6 feet from grade. The proposed replacement steel sheeting will connect to the existing steel sheeting on the adjacent property located at 261 Sheridan Road as it does today to ensure a mechanical connection to prevent future bluff erosion. These replacement sheets will become the primary shore protection for this area of the bluff.

The bluff areas located behind the eroded wall will be filled in, creating a sustainable slope of 2 to 1 (or greater) allowing for new for new plantings, stabilizing the bluff for the future. The bluff will be backfilled and compacted in 12" lifts for proper grading and planting. The slope will be covered with an erosion fabric while the plant material is established.

**Elevated Boardwalk:** As discussed previously, the District intends to create a boardwalk element at the Centennial Beach site to serve several functions. The boardwalk will maintain the existing shore protection for the Centennial Park bluff and protect against bluff erosion by using the

existing steel sheet pile seawalls installed in 1987. The boardwalk will connect to the existing walls to provide a continuous line of defense against future bluff erosion while establishing a foundation for additional improvements, including ADA accessible paths, and beach and pier amenities. The boardwalk also doubles as a recreational platform to allow greater access to the beaches and help delineate the beach elements. It also allows for greater connectivity for the beaches while permitting individuals the ability to traverse the lakeshore without having to pass through the off-leash dog beach.

Set at a base height of 3 feet above grade and ramping up slightly near the concrete ADA access ramp interchange, the boardwalk finishes at a height of 5.5 feet. The boardwalk is set between 18"-48" above the final sand nourishment and is pitched minimally to allow storm water runoff from the structure. The boardwalk is built by installing steel sheet piling which is driven in the clay to maintain the shore protection for the bluff and park backfilling with angular stone and capped with a thickened concrete slab. To help soften the feel for the boardwalk, the concrete will be tinted with a color additive used in other concrete areas across the site, to provide a seamless aesthetic throughout the site. The boardwalk concrete will be further distinguished with a stamped wood decking pattern to give the appearance of natural wood. The final result will achieve a weathered Ipe wood aesthetic to match the style of the bluff staircase which will land on the boardwalk. The boardwalk runs for a total length of 349', with integrated backed Ipe wooden benches mounted to the bulkhead along the western edge. These benches are provided to allow beach goers the opportunity to sit and relax on the boardwalk while enjoying the lake environment. There are also four (4) low level LED bollard light fixtures that will also be installed for safety and security. Low-intensity lighting will be used along pathways and in the dog beach area. Lights will be designed to minimize light pollution and focus on safety.

Like the stair access, the boardwalk also serves as the accessible transition route planned to ADA standards for the public to use and access the swimming beach, off-leash dog beach, and pier elements. There are three staircases that can be used to access the different elements of Centennial Beach. The northernmost staircase is set just to the east of the ADA access ramp, allowing quick access down to the beach level. The stairs have a 5-foot-wide clearance with 1.5-inch brushed stainless steel tube handrails on both sides to help patrons access the beach.

A second staircase runs from the boardwalk level fencing for the dog leash entry area (just beyond the electric dog gate) down to the dog beach. This staircase is described in the off-leash dog beach review.

A third staircase runs due south at the farthest southern end of the boardwalk allowing a clear access path to the properties south of Centennial Park, for those who chose to walk the Lake Michigan shoreline. This staircase was also described in the off-leash dog beach review.

To complement the access routing, an ADA accessible concrete ramp has also been included in the design for the human swimming beach. The ramp10 feet wide to allow access for both beach goers and maintenance equipment. Please note, current Centennial Beach improvements do not allow personnel to access the beach with the required equipment to maintain the beach. The proposed design allows for maintenance equipment to access the swimming beach and off-leash dog beach areas. While the site does not allow for large vehicle access such as ambulances or fire trucks, the same access route along the park ramp and boardwalk will allow first responders direct access to the Centennial Beach sites, as needed. The completed stamped drawing set has been included for final review by the Village.

District staff will utilize the northern-most section of the boardwalk for storage and respite between on-water shifts.

The proposed work is designed to be built upon the existing toe of slope, but east of and outside the steep slope zone.

**Elevated Pier Structure:** The proposed pier structure was designed to serve several purposes on site. The main purpose of the pier is to more substantially delineate the two distinctive swimming beach and dog beach uses, north and south respectively. Furthermore, the pier provides additional shore protection by diffusing wave energy and helps hold sand for both beaches from erosion and littoral drift. Finally, the pier provides an additional recreational use allowing visitors greater interaction with the lake. The pier structure replaces an existing steel sheet pile groin that splits the Centennial Beach site. The pier structure is 192.5 feet in length from the boardwalk to the farthest end of the concrete. Surrounding the outer ring of the pier is an additional 33.5 feet of stone, which makes up the bedding stone layer, armor stone, and elevated armor stone ring 3.5 feet above the ordinary high-water mark of 581.5'. The armor stone is set at the same height of the pier and goes out for 6 feet, from there the stone tapers into the lake at a slope of 1.5 to 1. The pier starts 6 feet above grade and tapers down to the east by 2.5 feet, ending at an elevation of 585.00'. The pier structure is lined with armor stone to dissipate wave action, help hold sand and prevent reflective rip currents from the steel surfaces. The pier is erected by driving steel sheet piling into the lake and capping the structure with a 12" concrete cap tied into the steel with welded pins. The southern edge of the pier is lined with modular fence panels, which by design provide a secure boundary for the off-leash dog beach, as previously described. The ornamental handrail (Type A) is designed for a marine setting made from galvanized steel and powder coated black with a rectangular framework of<sup>3</sup>/<sub>4</sub> inch horizontal rails to minimize visual obstructions. The fence height is 42 inches high. The eastern end of the pier is ornamented with six (6) 9'9" concrete benches matching the outer pier's radius pinned into the 12-inch concrete cap. The benches are 18 inches tall with a spacing of an 18-inch gap between each bench to allow for drainage. Interior of the benches in the center of the pier's flat surface is a decorative 8-foot bronze compass rose inset with two gray granite border inlays around the inner and outer perimeters of paving. The linear section of the pier is set with four (4) 18" x 18" x 8' long benches equally spaced with two on each side of the pier.

The design heights and elevation for the pier were driven by community input and what was minimally required to achieve its intended and proper purpose. To address the concerns of possible waves overtopping the pier from time to time during high wave events, the District intends to provide signage when necessary, noting that the pier is closed due to unsafe wave activity. This is the same signage used for the other three lakefront beach sites operated by the District. In the case of severe storms, Type 2 barricades would be installed to close the pier as needed.

# Exceptions from Section 17.82.040 Development in Steep Slope Zone & Variations for Section 17.30.050 Front and Corner Yard Setbacks

After reviewing the zoning standards, there are two project elements which fall within the combined zoning for both the Front Yard Setback requirements and the slope impact area. The park staircase and the concrete ADA access ramp are split within these zones. The notes below outline these elements and how they fall within the zoning code.

**Bluff Staircase to Park:** (from the concrete ADA Access Ramp to the Boardwalk) To provide a more direct route to the proposed boardwalk, included in the Plan is a set of stairs that would allow a person to walk down a staircase from the ADA Access Ramp to the proposed elevated boardwalk. This staircase follows the design details from the existing staircase at Centennial and our Tower Road staircase, which utilizes an elevated platform built on helical piers that suspend over the bluff, allowing an individual to access the beach down an Ipe wood staircase with black powder-coated metal railings. The proposed staircase has two landing areas. The staircase is designed with 42" tall black Type A handrails with a horizontal top rail and .75" square tubing used to complete the horizontal rails on both sides of the access stairs from the intersection with the concrete ADA access ramp down to the boardwalk. The staircase is a traditional wood frame construction, with Ipe wood decking and metal handrails as described. The staircase sits above the bluff and is supported by nine helical piers. The proposed design was completed by structural engineers, who completed a similar design at the Tower Road bluff in 2019-2020. Based on the design, size of the landing areas, and where it falls within the front yard setback and steep slope zone, the staircase design meets the requirements for both sets of regulations.

**Concrete ADA Access Ramp:** The proposed concrete ADA access ramp falls within both the steep slope zone and the front yard setback. There is a short section (approximately 110 feet) of the lower south section of the ramp that falls within the front yard setback area, while the remaining

section (west of the front yard setback and east of the upper table land) falls within the Steep Slope Zone.

Currently, a mid-bluff sidewalk exists today, which runs parallel to the existing top of the bluff fence line, as shown in the Plan. The current sidewalk does not meet ADA requirements due to its slope. It is only a looped path that reconnects to the upper parkland; no current ADAaccessible route down to the Centennial beach exists. The proposed concrete ADA access ramp has been designed to meet several requirements for the project site. First, it will be used as an accessible walkway to access the proposed beach improvements for the recreation swimming beach and the off-leash dog beach. The current beach access is only for the gated dog beach, which is only accessed by a single stairway installed over the current bluff vegetation. During the high lake levels, there was a two-foot drop down to the sand from the Centennial Beach dog beach stairs, causing closures on the dog beach. In addition, the current stairway is only accessible to those who register with the District and purchase a key fob to access the beach. It is the vision of the Winnetka Waterfront 2030 Master Plan to reopen Centennial Beach to the greater population of the District.

The proposed design includes an accessible pathway to the new boardwalk, pier, swimming beach, and off-leash dog beach. In addition, the current 5-foot sidewalk in the park from the parking lot to the dog gate is being widened to allow greater access for users to all the beach elements. It also serves as an access point for maintenance equipment needed for the beach as previously described.

The new proposed width of the access ramp is 10-foot edge to edge, with integrated handrails on each side of the access ramp. The plans illustrate the handrails as 36inch in high, 1.5-inch round brushed stainless steel with a 9-foot clear width. The District also widened this walkway back to the parking lot as suggested by Village staff upon the initial review of the plans. To lessen the impact in the bluff steep slope zone, the design team utilized a single walkway with a slope of 7.9% or less with 5-foot landings every 30 feet as required by law. Since the bluff at Centennial Park is significantly narrower in width compared to the bluffs on the northern end of Winnetka, logic dictates a single walkway without switchbacks is best suited to achieve our goal. This also helps soften the impact on the bluff and keep clear and open sight lines for access and safety. Additional retaining walls were added to meet the required structural requirements to build the access ramp. The District's structural engineering team designed the retaining walls, with design input from contracted civil engineers and landscape architects. The north retaining wall runs on the east side of the access ramp (on the downslope side) for 105 feet until it intercepts with the access stair opening. The retaining wall height varies from .75 feet to 3.74 feet at its tallest section. There is a gap of 6 feet where it then starts again for an additional 12.5 feet with a height starting at 2 feet and tapering down to 1 foot.

At that point, the bluff topography switches due to the elevation, and the retaining wall transitions to the western edge of the access ramp. The proposed western retaining wall runs for approximately 175 feet in total length. It begins with a wall height of 1.5 feet. At the farthest south section of the western retaining wall, the final wall height is 4.07 feet. The wall height varies from 1.5 feet at its shortest and 7.97 feet at the tallest section. There is roughly 30 feet in which the retaining wall height is over 6.5 feet and maxes out at 7.97 feet. The remaining 145 feet vary between 1.5 feet and 6.4 feet. The face of the retaining wall in this section faces downslope so it is invisible from the table land at the top of the bluff.

The retaining wall is built into the bluff with a spread-type footing and is required to support the proposed ADA access ramp. Consideration was taken to help soften the retaining wall, as shown in the plans with a wave patterned concrete form liner. The wave reliefs on the liner are up to 0.75 inches deep (maximum depth), creating a flowing pattern on both the east and west sections of the retaining wall. Individuals can look to the east with uninterrupted lake views from the park and access ramp. When looking back from the shoreline, individuals can see the gentle waves of the form liners and bluff restoration to help break up the view.

Based on the design and engineering, the District is proposing a 10-foot-wide accessible ramp to allow access for beach users, life safety, and maintenance equipment to access the beach. To accomplish this, we are proposing to install retaining walls within this zone. The District is requesting an exception for this improvement within the slope impact area.

Please note, the Centennial Park bluff in question has been reconstructed over the years, including the erosion and rebuilding of the bluffs in the mid-'80s and previous developments that have taken place on-site prior to newly approved Village ordinances.

#### Variations for Section 17.82.040 Development in Steep Slope Zone

The elements listed below are the remaining project improvements that fall within the zoning requirements for section 17.82.040 Development in Steep Slope Zone.

**Outcropping Stone Steps**: Outcropping stone steps are being included as an active way to allow individuals to utilize the bluff more naturally. The outcropping stones are being proposed to be placed at the midlevel bluff passive seating area to allow an individual to walk up the limestone outcropping steps to access the upper park tableland. The rise and run of these steps are designed to be an active recreational step feature for users and not the sole source of access for the site. These steps are proposed to have a tread height of 13.5 inches with a total width of 72 inches. They are designed to be installed on a geotextile fabric supported by CA-6 stone bedding and dry stacked with mortar as needed for stability and proper drainage.

Due to their 6-foot width, which is 1 foot greater than the allowable 5-foot limit, the district is requesting exception for this project element.

**Improved Mid-bluff Paver Walkway and Seating Area:** The Plan has two seating node areas. As described below, one is within the steep slope, and the second is on the upper park tableland, outside the slope transition area. The seating node on the steep slope of the bluff is an existing park feature and has been since its development years ago. The proposed seating area is a reconfiguration of the existing pavers in the mid-bluff level to allow access to the seating area from the new ADA ramp at this location. The current pavers will be stockpiled and reused to set a walkway to the entrance location off the concrete ADA access ramp. Less than 150 square feet of pavers are being relocated to access this area. In addition to reworking the pavers, the current park bench will be replaced with the proposed natural stone benches. It will not change the work within the steep bluff since this is an existing element.

Since this is an existing condition in the flat section of the slope impact area, and the proposed enhancements will not impact the steep slope, no exception is required for this improvement.

#### Standards for Granting a Special Use Permit

As a preliminary statement, a refusal to grant a Special Use Permit for the District to provide park and recreational uses on Centennial Park and Beach will frustrate the essential purpose and statutory function of the District. Moreover, the District is not proposing to change the essential character of the subject property, which will continue to provide community access to active and passive recreational activities along the lakeshore. The District has taken great care to plan this project and has accepted and considered the public comments it received for over two years. Based on the feedback received, a failure to issue a Special Use Permit will frustrate the community's interest and deny our shared residents a lakeshore amenity for which they have expressed a desire to see completed.

1. That the establishment, maintenance and operation of the special use will not be detrimental to or endanger the public health, safety, comfort, morals, or general welfare;

The proposed improvements will not be detrimental to or endanger the public health, safety, comfort, morals, or general welfare of the community. Rather, the proposed improvements are compatible with the community and will enhance the general welfare by improving the applicants' facilities and the quality of the applicants' programming in service of the community.

The Applicant does not intend to expand the scope of its programming in connection with the Project from activities that have previously been provided at the park and beach. The Applicant only needs to apply for a Special Use Permit because of amendments to the Zoning Ordinance which were approved after the establishment of Centennial Park and Beach as a public amenity.

The proposed improvements are designed to complement and enhance the existing park and beach environment. Features such as the off-leash dog beach, swimming beach, elevated boardwalk, and pier, as well as concrete ADA access ramp are strategically located to minimize impact on neighboring properties while enhancing the park's role as a community asset.

The proposed improvements also result in the implementation of the Winnetka 2030 Waterfront Master Plan. The Lakefront Master Plan has been adopted and endorsed by the Village of Winnetka Comprehensive Plan, which provides further evidence the proposed improvements are compatible with and will enhance the public health, safety, comfort, morals, or general welfare.

# 2. That the special use will not be substantially injurious to the use and enjoyment of other property in the immediate vicinity which are permitted by right in the districts or districts of concern, nor substantially diminish or impair property values in the immediate vicinity;

For the same reasons, the Proposed Improvements will not be substantially injurious to the use and enjoyment of other properties in the immediate vicinity or substantially diminish or impair property values in the immediate vicinity. First and foremost, the beach has existed in this location for decades and the public's use of the park and beach has had no negative impact on the enjoyment of any private property or property values in the immediate vicinity. As direct evidence of this, our neighbor to the south at 205 Sheridan Road is investing millions of dollars in a new home – an investment that would not occur if the park and beach was injurious to the use and enjoyment of that property.

As described above: (i) the Proposed Improvements and the Programming are compatible with the mix of uses in the vicinity of the Property; (ii) the height, bulk, and density of the Centennial Beach and Park improvements are compatible with the height, bulk, and density of shoreline improvements on Lake Michigan and are designed to fit within the R-2 District; and (iii) the Proposed Improvements will not increase vehicular traffic or parking demand in a manner that would be injurious to the use or reduce the property values of neighboring properties.

3. That the establishment of the special use will not impede the normal and orderly development or improvement of other property in the immediate vicinity for the uses permitted by right in the districts or districts of concern;

The Proposed Improvements will not impede the normal and orderly development or improvement of other properties in the immediate vicinity. The Proposed Improvements do not change the essential nature of the property as a public park that provides community access to Lake Michigan. As a result, the proposed improvements will not change the park and beach's impact on development. Moreover, the surrounding area is already developed. If development sites become available, the Proposed Improvements will not discourage additional development in the area because the Proposed Improvements will not change the essential character of the property nor negatively impact surrounding properties or the general welfare of the community (as discussed above). As direct evidence of this, our neighbor to the south at 205 Sheridan Road is investing millions of dollars in a new home – an investment that would not occur if the Project impeded the normal and orderly development in the immediate vicinity.

### 4. That adequate measures have been or will be taken to provide ingress and egress in a manner which minimize pedestrian and vehicular traffic congestion in the public ways;

Existing traffic and parking infrastructure is sufficient to minimize pedestrian and vehicular traffic congestion in the public ways. As discussed above, the Applicant does not expect the Proposed Improvements to create new parking demand or materially increase traffic. The existing and proposed parking supply provides adequate capacity to accommodate vehicular traffic generated by the Applicant's programming without causing unreasonable congestion in the right-of-way. The beach site is a walking destination for most of the community, and with the supplemental parking at Elder Lane Park, there is enough parking to help with any potential overflow.

### 5. That adequate parking, utilities, access roads, drainage, and other facilities necessary to the operation of the special use exits or are to be provided; and

Existing parking, utilities, access roads, drainage, and other facilities necessary for the Proposed Improvements are adequate. The Property is served by all existing utilities and drainage necessary to operate the Proposed Improvements. The Proposed Improvements do not require additional utilities or facilities to support the project.

### 6. That the special use in all other respects conforms to the applicable regulations of this and other village ordinances and codes.

Except for the Variations and Exceptions (described on the Chart Titled "Non-conforming Elements), the Proposed Improvements will conform to all applicable regulations of the

Zoning Ordinance and other Village ordinances and codes. Moreover, Section 17.56.020 of the Winnetka Zoning Ordinance establishes nonessential public uses as special uses in all districts within the Village.

#### Standards for Granting a Variation:

## **1.** The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that district

Because the Property is owned by the District, a public entity, the conventional interpretation of this criteria is not germane to this application. The District does not operate property with an aim to obtaining a reasonable return, but for the purpose of providing park and recreational amenities for the use and enjoyment of the community. The proposed improvements will clearly enhance the public's use and enjoyment of Centennial Park and Beach and benefit the public's health and welfare.

### 2. The plight of the owner is due to unique circumstances;

The Front Yard setback regulations are designed for a residential zoning district. Because the property is not used for residential purposes, the variances needed for the Project result from unique circumstances that are not generally applicable within the R-2 zoning district. The improvements located in the front yard setback area for which variances are required have been designed in response to community interest to minimize their height and maximize the visual aesthetics of the lakefront environment so the degree of incompatibility with the front yard setback regulations has been minimized.

#### 3. The variation, if granted, will not alter the essential character of the locality;

The current use of the property is a park and beach. With the variations, the proposed improvements will permit the property to continue to be used as a park and beach, but with enhanced access to the lakefront for patrons of all abilities. The variations will most definitely not alter the essential character of the property and the locality.

#### 4. An adequate supply of light and air to adjacent property will not be impaired;

The Project will result in no impairment to the supply of the light and air to adjacent property because all the proposed improvements within the front yard setback area for which variances

are required are built to maximize views of Lake Michigan and minimize their height. The improvements do not cause any shadows or encroachments on adjoining parcels.

### 5. The hazard from fire and other damages to the property will not be increased;

The design, nature and building materials used for the proposed improvements in the front yard setback area for which variances are required will not increase any hazard from fire or other damages to the property.

### 6. The taxable value of land and buildings throughout the Village will not diminish;

The proposed improvements in the front yard setback area for which variances are required will not diminish the taxable value of land and buildings in the Village. Just the opposite, the creation of an enhanced beach is an additional community amenity that will make Winnetka a more attractive place to live and enhance property values.

### 7. The congestion in the public street will not increase;

The proposed improvements in the front yard setback area for which variances are required will not result in an increase in congestion in the public streets nearby. The District has adequate off-street parking to accommodate patrons at the park and beach.

# 8. The public health, safety, comfort, morals and welfare of the inhabitants of the Village will not be otherwise impaired.

The proposed improvements in the front yard setback area for which variations are required will not be detrimental to or endanger the public health, safety, comfort, morals, or general welfare of the community. Rather, the proposed improvements are compatible with the community and will enhance the general welfare by improving the District's facilities and the quality of the applicants' programming in service of the community.

#### **Conclusion:**

The Centennial Park and Beach project is designed to significantly enhance community recreational opportunities while ensuring environmental stewardship and public safety. By meeting the six standards for a Special Use Permit, addressing review comments, and providing detailed operational plans, the project is positioned to serve as a valuable community asset for generations to come. The District looks forward to presenting this project to required boards and

commissions in the near future to continue the process of making these much-needed beach improvements a reality for the community.

### Winnetka Park District Centennial Park and Beach Project Non-Conforming Elements

Code Section	Project Element	Requirement	Existing Condition	Proposed Improvement	Variance/Exception Required (yes/no)	Rational
Setback Section 17.30.050 subsection	Steel Sheet Pile Replacement (Failing Wall)		The existing steel sheet pile bulkhead is at an elevation varying from 586.0' to 591.0'	New proposed steel piling is designed at an elevation of 592.0'	No, not greater than 6.5' from existing conditions.	Primary Shore protection, structural replacement to the existing sheeting and allow for proper backfilling and planting of the bluff slope.
	Boardwalk with Type A Handrail (Fencing) (elev. 587.5' - 589.0')		The existing sand contours vary from section to section ranging from 583' to 585.	Northern section of the boardwalk approx 120' have a height differential of greater than 6.5' ranging from 6.51' - 8.5'. This elevation includes a Type A style handrail that can be viewed on Sheet C155 ( Drawing 1). Once the Beach is nourished, the height differential will be roughly the same.	boardwalk.	Suplemntal Shore Protection and structural support for the beach boardwalk, Type A handrails, accessible beach route and support access for life safety and maintenance equipment for the beach.
	Boardwalk with Type A Handrail (Fencing) (elev. 587.5' - 589.0')		The existing sand contours vary from section to section. ranging from 581.5' to 585.	The center section of the boardwalk approx. 50' has two smaller sections (20' and 16') where it flares out to the proposed pier area, ranging in overall heigh of 9.32' and 10.5' (which includes the 42" Type A Handrail (Fence). Once the Beach is nourished, the height differential will be 5.32' and 6.5'.	variance of 4' for this section of the	Suplemntal Shore Protection and structural support for the beach boardwalk, Type A handrails, accessible beach route and support access for life safety and maintenance equipment for the beach.
	Boardwalk with Type A Handrail (Fencing) (elev. 587.5' - 589.0')	Michigan between the ordinary high water mark of lake Michigan (581.5') and the table land as defined by	The existing sand contours vary from section to section. ranging from 583.5' to 585.	The southern section of the boardwalk approx. 95' from the southernmost end of the boardwalk to the center, ranges from 591.75' - 592.5', creating a difference of 6.51' - 8.0'.	Yes, we are requesting a maximum variance of 1.5' in the section of the boardwalk.	Suplemntal Shore Protection and structural support for the beach boardwalk, Type A handrails, accessible beach route and support access for life safety and maintenance equipment for the beach.
	Elevated Pier Structure	section 17.82.020 will also comply with Chapter 17.82, Steep Slope, Regulations and Chapter 15.78 Lakefront Construction. For lots abutting lake Michigan, the required front yard setback is the toe of the	Existing Contours 581.5' OHWM to 582.0'	The south 6' of the Type A handrail is set at an elevation of 591.0' which is 9.5'. Upon completion of the project, the sand elevation will increase to 585.0' leaving a difference of 6' including the 42" handrail.	Yes, we are requesting a maximum variance of 3' in this six foot area of the pier.	Beach stabilization, structural support for the pier, type A handrails, accessible beach route and support access for life safety.

	ADA Beach Access Ramp Beach Access Stair (North) Swimming	E	Existing Contours 582.5' - 585.0' Existing Contours 581.5 - 583.0'	The ADA accessible beach access ramp ranges from 580.0' to 587.5', with a maximum height differential of 4.5' to the top of the ramp. Type B Handrails do not count in the overall height Measurment. Access stair for the north swimming beach is set at	existing conditions.	ADA Universal Design. Site Connectivity, swimming beach access.
8 	Beach			elevation of 580.0' and meets the boardwalk at an elevation of 587.5'. The Type B Handrail do not count in the overall height measurement.	existing conditions.	
	Beach Access Stair (South)		Existing Contours 585.0' - 586.0'	Access stair for the south beach access is set at an elevation of 589.23' - 579.90'	No, not greater than 6.5' from existing conditions.	Site Connectivity, south beach bypass route.
	Dog Beach Access Stair (Off-leash Dog Beach)		Existing Contours 582.5' - 584.0'	Access stair for the Off-leash dog beach is set at an elevation of 587.50' - 579.33.	No, not greater than 6.5' from existing conditions.	Site Connectivity, off-leash dog beach access.
	Concrete ADA Access Ramp		Existing Contours 589.0' -596.0'	ADA accessible ramp from upper park table land to the proposed boardwalk. Proposed retaining wall maximum height within the 50' setback is 595.52' with a bottom of wall at 590.52' tapering down to 593.4' with a bottom of wall at 589.0'	No, not greater than 6.5' from existing conditions.	ADA Universal Design and site connectivity.
	Staircase to Park		Existing Contours 587.0' - 600.0'	Elevated access stair that is being installed on helical piles, that support a wooden sub structure, type A hand railings (42"), and a 5' wide Ipe decked stair landings and treads.	-	Site Connectivity and secondary access to boardwalk and beach improvements.
Development in Steep Slope Zone Section 17.82.040	Concrete ADA Access Ramp and required retaining walls to support the ramp	Proposed improvements must meet the requirements for Ordinance No. MC-01-2024, Steep Slope Area Along Lake Michigan and required Zoning Requirements as noted in Section 17.82.040.	ranges from 611.0' down to 594.0'	The proposed 10' walkway starts at the upper park table land and contours down to the bluff to the 50' front yard setback as noted in Chapter 17.30.050 Front and Corner Yard Setbacks. We are proposing a 10' wide accessible ramp for to allow access for beach users, life safety, and maintenance equipment to access the beach. To accomplish this, we are proposing to install retaining walls on both the upslope side and down slope side of the access ramp to support the bluff and grade.	, and the second s	ADA Universal Design and site connectivity.

Outcropping Stone Steps	The existing conditions for the The proposed outcropping stone steps are The proposed stair width is 1' greater Recreational Asset and Site Control of the proposed stair width is 1' greater Recreational Asset and Site Control of the proposed stair width is 1' greater Recreational Asset and Site Control of the proposed stair width is 1' greater Recreational Asset and Site Control of the proposed stair width is 1' greater Recreational Asset and Site Control of the proposed stair width is 1' greater Recreational Asset and Site Control of the proposed stair width is 1' greater Recreational Asset and Site Control of the proposed stair width is 1' greater Recreational Asset and Site Control of the proposed stair width is 1' greater Recreational Asset and Site Control of the proposed stair width is 1' greater Recreational Asset and Site Control of the proposed stair width is 1' greater Recreational Asset and Site Control of the proposed stair width is 1' greater Recreational Asset and Site Control of the proposed stair width is 1' greater Recreational Asset and Site Control of the proposed stair width is 1' greater Recreational Asset and Site Control of the proposed stair width is 1' greater Recreational Asset and Site Control of the proposed stair width is 1' greater Recreational Asset and Site Control of the proposed stair width is 1' greater Recreational Asset and Site Control of the proposed stair width is 1' greater Recreational Asset and Site Control of the proposed stair width is 1' greater Recreational Asset and Site Control of the proposed stair width is 1' greater Recreational Asset and Site Control of the proposed stair width is 1' greater Recreational Asset and Site Control of the proposed stair width is 1' greater Recreational Asset and Site Control of the proposed stair width is 1' greater Recreational Asset and Site Control of the proposed stair width is 1' greater Recreational Asset and Site Control of the proposed stair width is 1' greater Recreational Asset and Site Control of the proposed stair widt	onnectiv
	proposed outcropping stone staircase proposed to be 72" wide per the specifications. than the allowable limit. We are	
	is set between 601.0' and 611.0' requesting an exception for this	
	improvement to accommodate the	
	additional 1 foot width of the	
	outcropping stone staircase.	
Improved Mid-Bluff paver walkway	This location is set at an elevation of The proposed re-design of this area include the Since this is an existing condition in Recreational Asset and Site Control of Since this is an existing condition in Recreational Asset and Site Control of Since this is an existing condition in Recreational Asset and Site Control of Since this is an existing condition in Since the	onnectiv
and seating area	600.0' and 602.0'. Currently there is a installation of two (2) natural stone benches and the flat section of the slope impact	
	brick paver path and bench seating the reconfiguration of the brick paver path to area, no exception is requested for	
	area. connect it to the proposed concrete ADA access this improvement.	
	ramp. The square-footage between the old	
	configuration and new proposed configuration is	
	about the same.	
Staircase to Park	Existing Contours 587.0' - 600.0' Elevated access stair that is being installed on No, the design width for the staircase Site Connectivity and secondary of the staircase Site Connecti	ary acces
	helical piles, that support a wooden sub structure, is 5' and landings fall within their boardwalk and beach improve	ements.
	type A hand railings (42"), and a 5' wide Ipe decked perspective sizes for each zoning	
	stair landings and treads. location requirements.	

MEMORANDUM

TO:	Charlene Holtz
FROM:	Vicki Caputo
DATE:	7/21/86
RE:	Winnetka Park District Centennial Park

Attached is a copy of the final Judgment Order entered in Condemnation Case No. 68 L 16116 on April 2, 1969. Please note the language in Paragraph 3 on page 4 which states that upon deposit of the money, title shall vest in the Park District. This is why no deed was found in the tract book records.

If you need anything further with respect to ownership of this park, please let me know.

VLC:kc encl.

> And the court having jurisdiction of all the parties to this suit and the subject matter thereof, and all parties

### 69L15 1954



STATE OF ILLINOIS) SS COUNTY OF C O O K)

> IN THE CIRCUIT COURT OF COOK COUNTY, ILLINOIS COUNTY DEPARTMENT, LAW DIVISION

WINNETKA PARK DISTRICT, a body) politic and corporate, ) Petitioner,) v. ) NORTH SHORE HOSPITAL, INC., an) Illinois corporation, et al., ) Defendants.)

### NO. 68 L 16116

1

JUDGMENT ORDER

This cause coming on to be heard upon the petition to condemn of WINNETKA PARK DISTRICT, a body politic and corporate, for the ascertainment of the just compensation to be made for the taking by said petitioner for the uses and purposes set forth in said petition to condemn, of the fee simple title to the real property described in said petition to condemn;

And the petitioner appearing by RIGHEIMER RIGHEIMER & MARTIN, its attorneys;

And it appearing to the court that all parties defendant. herein have been served with process in the manner and form provided for by statute or have duly entered their appearances;

And the court having jurisdiction of all the parties to this suit and the subject matter thereof, and all parties

### 69L15 1954

interested being before the court and having waived trial by jury, and the court having heard evidence, both oral and documentary, pertaining to the subject matter;

And now being fully advised in the premises, finds that the amount to be paid by the petitioner as just compensation to the owner or owners of and party or parties interested in the property hereinafter described, which said petitioner seeks to acquire as stated in its petition to condemn filed in this cause is as follows:

To the owner or owners of and party or parties interested in the real property legally described as follows:

#### PARCEL 1

Lot 6 in the Resubdivision of Blocks 1, 2, 3 and 4 and the vacated street known as Belleview Place lying between Blocks 1 and 2 on the East and Blocks 3 and 4 on the West, in Lake Shore Subdivision in the Village of Winnetka, being a Subdivision of Lot 1 in a subdivision made by Simon's and Others' of part of fractional Southeast Quarter of Section 21 and of fractional Southwest Quarter of Section 22, Township 42 North, Range 13 East of the Third Principal Meridian, also of the 5 acres more or less lying North of and adjoining said Lot 1 extending to Dale's Addition to Winnetka on the North and lying between the Lake Shore Road (known as Lake Avenue) on the West and Lake Michigan on the East, in Cook County, Illinois.

69L15 1955

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-2-

#### PARCEL 2

Block 1 of Phillips Partition Subdivision in the fractional Southeast Quarter (fraction Southeast Quarter) of Section 21, Township 42 North, Range 13, as per plat attached to the report of the Commissioners in partition appointed by decree of the Superior Court of Cook County, Illinois dated April 24, 1901 in Case Number 170875, in Cook County, Illinois,

together with any and all riparian rights pertaining to the above parcels of land,

as full compensation to the owner or owners of and party or parties interested in the aforesaid real property, for the fee simple title to said real property and the cost to owner of removing, prior to the entry of the judgment, certain improvements on said real property, as agreed between the parties, and placing said property in a condition usable for park purposes, for any and all riparian rights pertaining to said real property, and for all private interests in so much of the public streets and alleys as in anywise abut said lands and premises, the sum of FIVE HUNDRED THOUSAND AND NO/100 DOLLARS (\$500,000.00).

The payment of said amount to be paid to the owner or owners of and party or parties interested in said real property will fully compensate said owner or owners of and party or parties interested, for the taking by the petitioner of aforesaid real property for the uses and purposes set forth in the petition to condemn filed in this cause.

And the court being fully advised in the premises; DOTH CONSIDER, ORDER AND ADJUDGE that the sum of money herein awarded by the court to the owner or owners of and

-3-

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69L15 1956

party or parties interested in said real property described herein and in the petition to condemn filed herein, is just compensation to the owner or owners thereof and party or parties interested therein for the taking of said real property, and for the work done upon said property by the owner between the filing of the petition to condemn and the entry of this order, and judgment is herein entered accordingly.

IT IS THEREFORE ORDERED AND ADJUDGED by the court that the WINNETKA PARK DISTRICT, petitioner herein, within sixty (60) days from the entry of this order, deposit with the County Treasurer of Cook County, Illinois, in accordance with the provisions of the statute in such case made and provided, the sum of money heretofore set forth as full compensation for the taking of the fee simple title to said real property, and costs in the amount of \$22.00.

IT IS FURTHER ORDERED, ADJUDGED AND DECREED that upon said payment to the County Treasurer of Cook County, Illinois, fee simple title to said real property shall vest in the petitioner herein and it may enter in and upon said property and use the same for the uses and purposes set forth in said petition to condemn.

IT IS FURTHER ORDERED that pursuant to stipulation of the parties, made orally in open court, the award herein shall not bear interest if the amount of the award is deposited with the County Treasurer of Cook County on or before April 30, 1969. If deposited subsequent to April 30, 1969, the petitioner shall pay interest on such award from April 30, 1969

> 691,15-1957 69L15-1957

at the rate of 5% per annum.

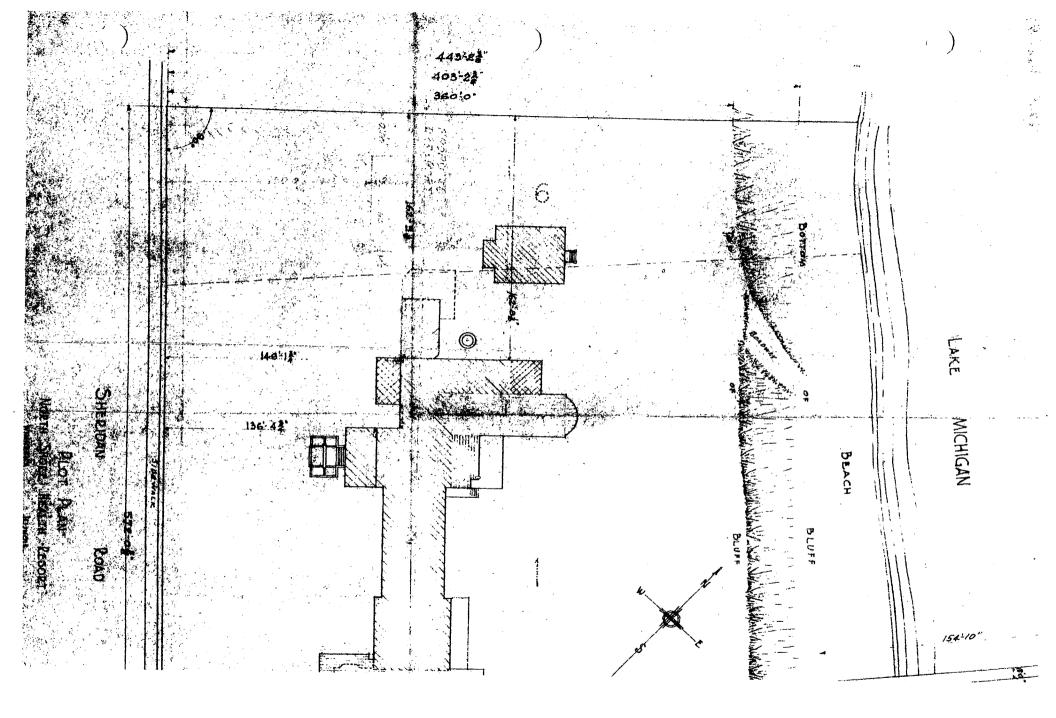
The court finds that it has been agreed between the petitioner and the property owner that petitioner will reimburse owner for that part of the 1969 general real estate taxes on the real property being herein acquired by petitioner which are legally billed to and paid by owner pursuant to the provisions of Ill. Rev. Stat. 1967, Chap. 120, Sec. 508a as title holder for the period between March 15, 1969 and the date the award herein is deposited with the County Treasurer by petitioner, the petitioner having had the right to possession of the premises since March 15, 1969.

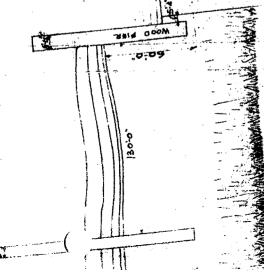
ENTER:

DATED: And Go

JUGGE EDWARD F. HEALY APR 24 1969 CIRCUIT COURT

<sup>69L15</sup> 1958

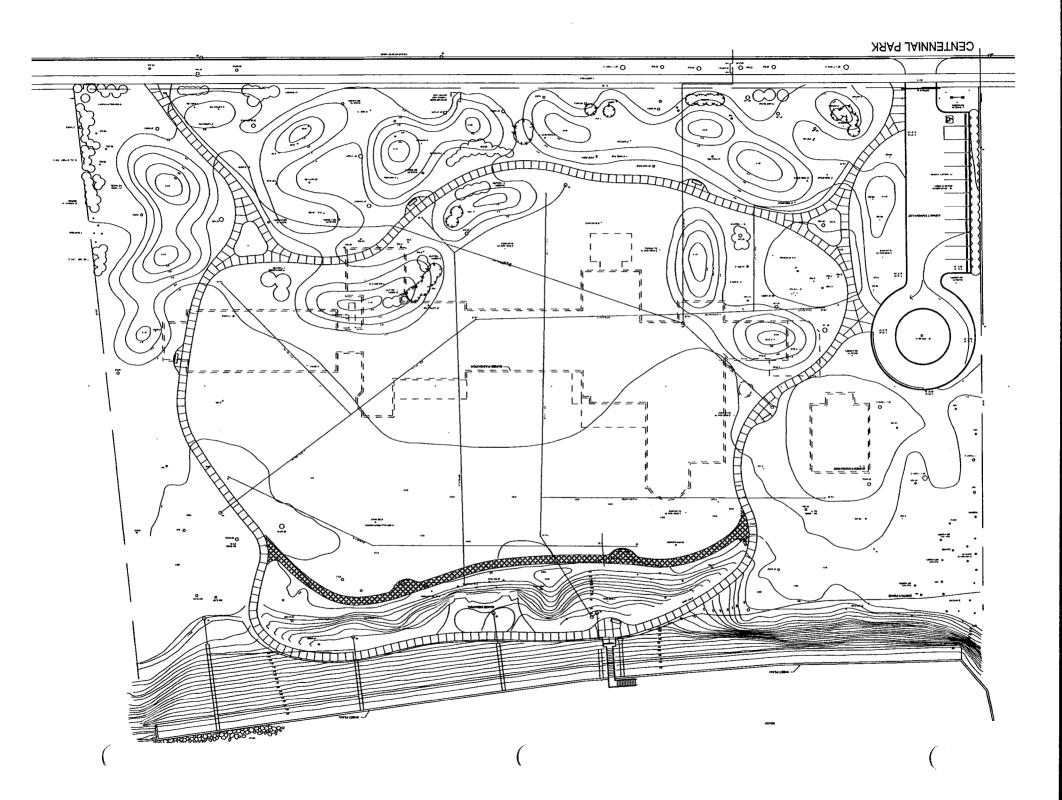


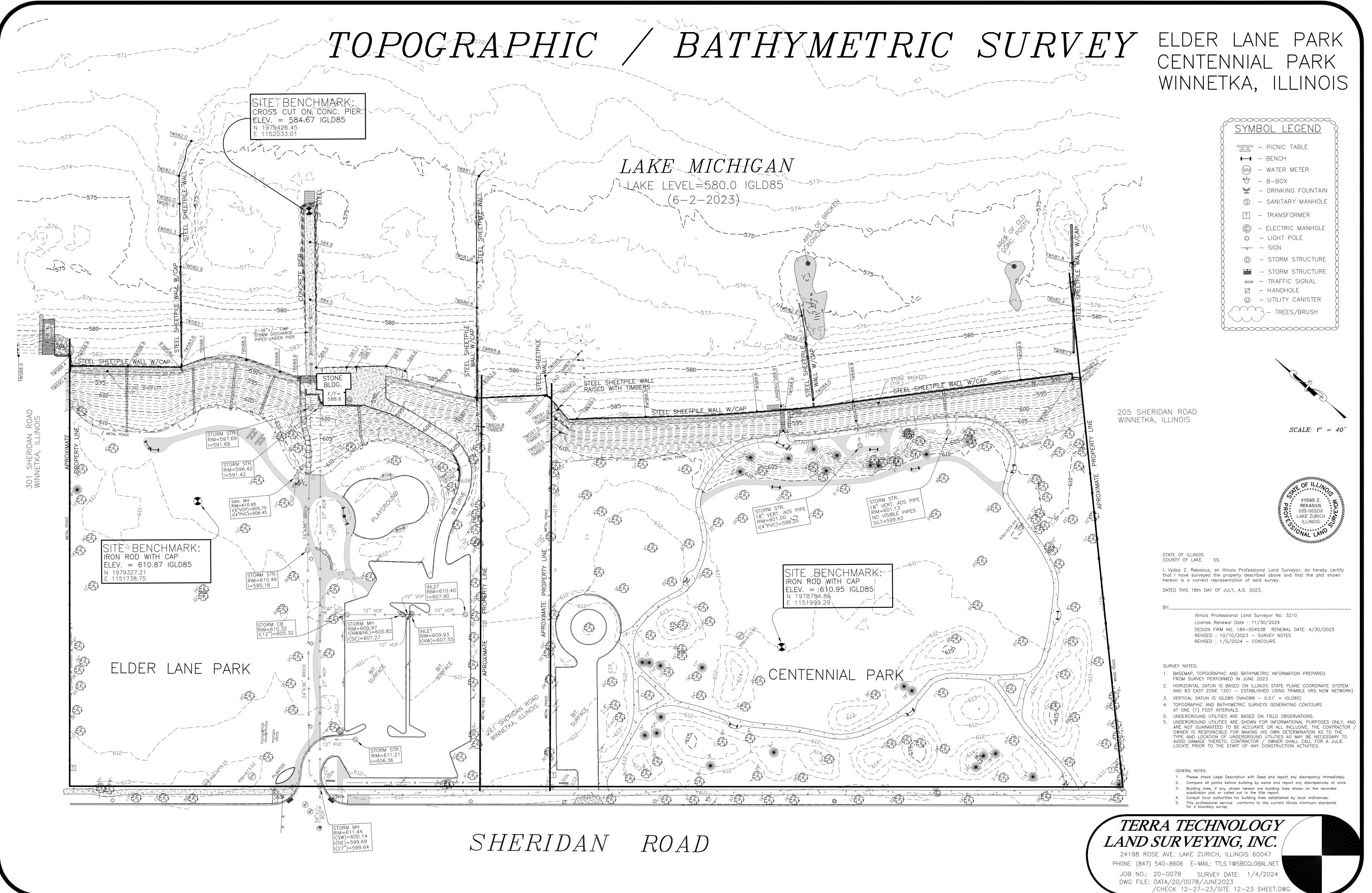


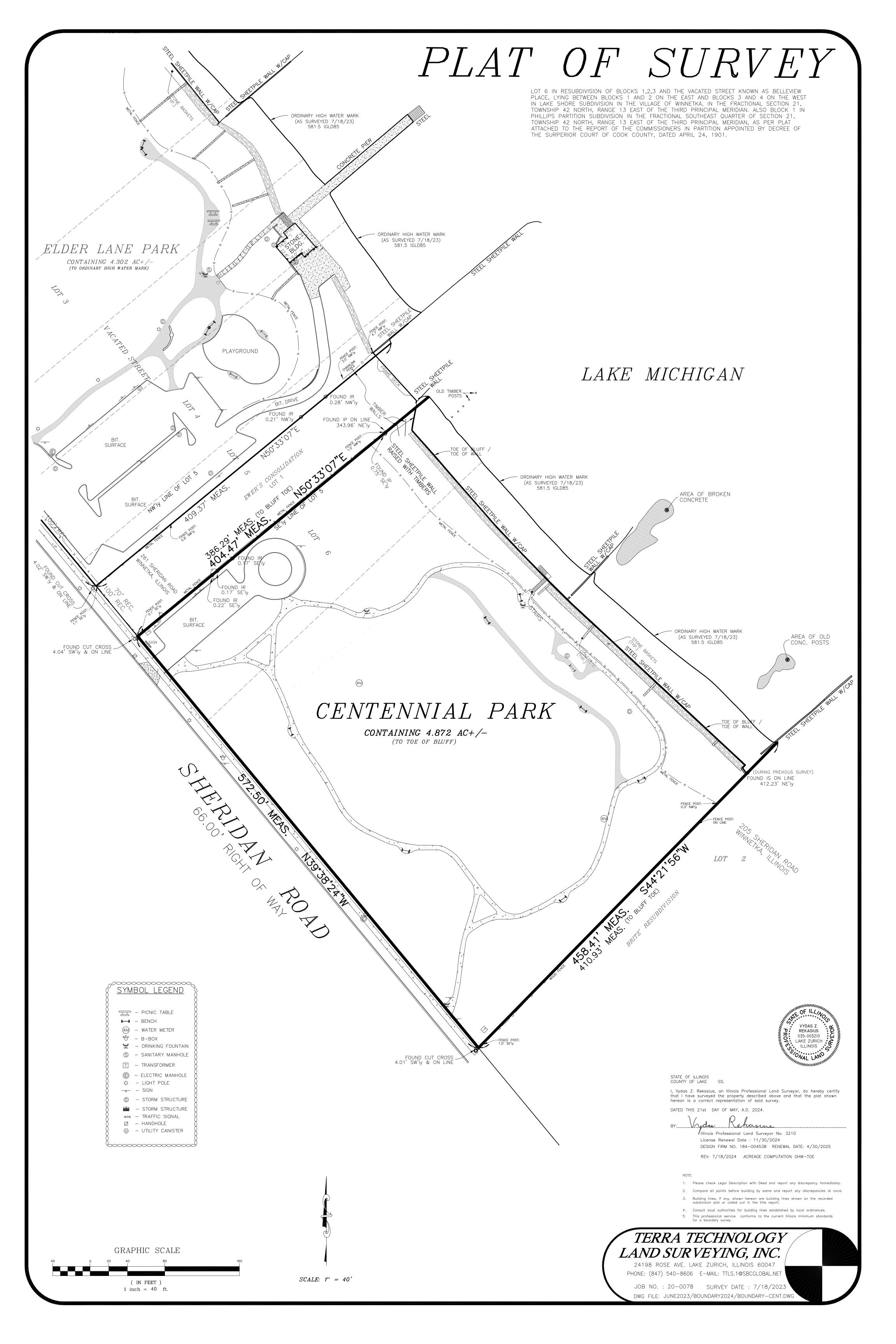
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### Centennial Park and Beach Existing Conditions





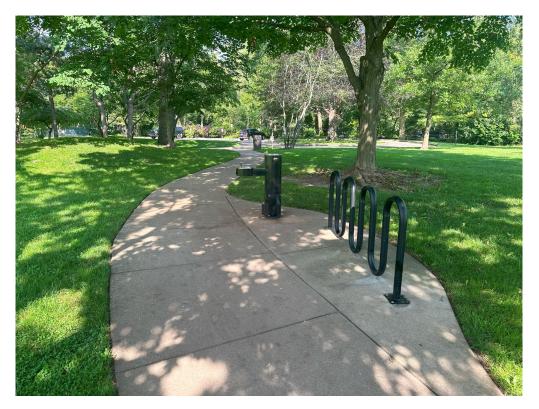
Centennial Parking Lot (East View)



East of Centennial Parking Lot (East View)



Sidewalk leading from Parking Lot to Upper Park (East View)



Existing Sidewalk From Parking Lot Beach (West View)



Park Sidewalk Split (Upper Park Loop and Beach Loop)



Dog Beach Access Area (Looking North)



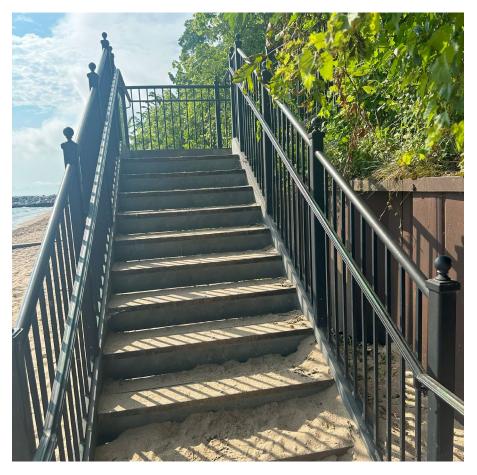
Dog Shower Amenities (Looking Northwest)



Dog Beach Access Gate (Looking East)



Dog Beach Access Stairs (Looking East)



Dog Beach Access Stairs Beach Level (Looking South)



Dog Beach Stairs Beach View (Looking West)



Dog Beach (Looking North)



North Seawall (Looking West)



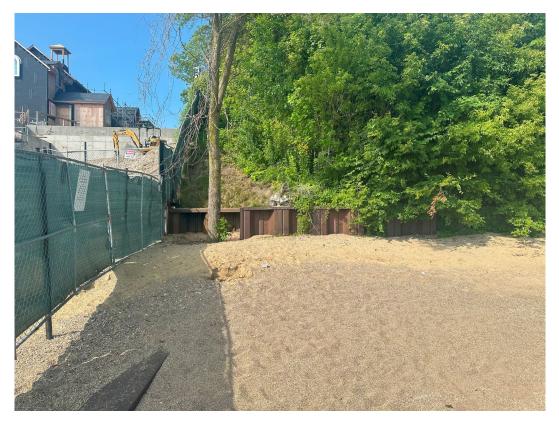
North Seawall (Looking Northwest)



Dog Beach (Looking South)



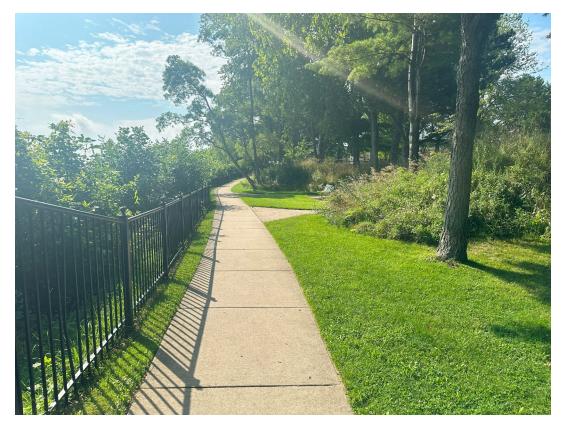
Bog Beach (Looking South)



Dog Beach South Property Line (Looking West)



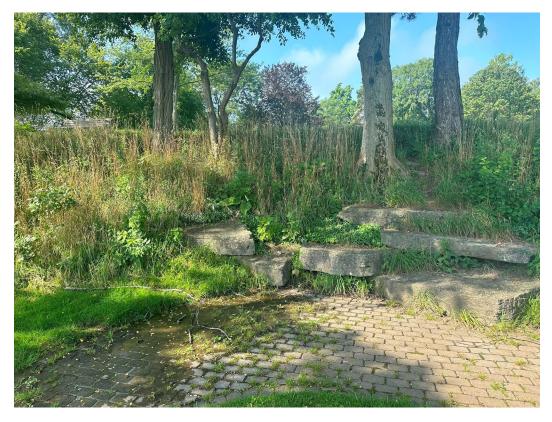
Dog Beach Seawall (Looking West)



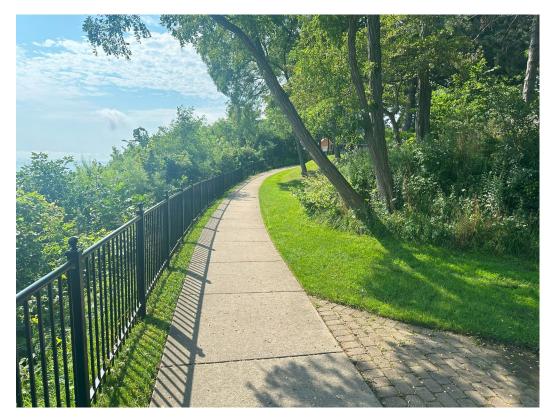
Mid-level Bluff Sidewalk (Looking South)



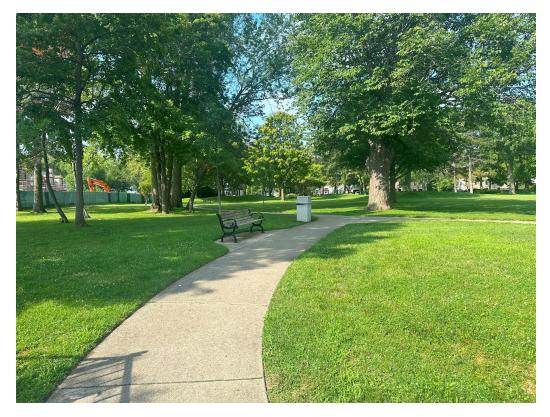
Mid-level Bluff Paver and Bench Area (Looking Southwest)



Mid-level Bluff Paver and Bench Area (Looking West)



Mid-level Bluff Sidewalk (Looking South)



Mid-level Bluff Sidewalk to Park Area (Looking West)



**Upper Bench Southeast Section of Upper Parkland** 



Upper Park Sidewalk Southwest Corner of the Park (Looking East)



Upper Park Sidewalk South End (Looking East)



Upper Park (Looking South)



Upper Park (Looking East)



Upper Park Sidewalk (Looking North)



Upper Park Center East Side (Looking East)



Upper Park Center Overlooking Dog Entry Gate (Looking East)



Upper Park Sidewalk (Looking North)



Upper Park Area (Looking Southwest)



Upper Park Area (Looking Northeast)



Upper Park Sidewalk (Looking Southwest)



Sheridan Road Sidewalk South side of Park (Looking North)

### ILLUSTRATIVE CONCEPT IMAGERY

FOR REFERENCE ONLY. ALL RENDERINGS ARE BASED ON WPD APPROVED SCHEMATIC DESIGN. NOT FOR CONSTRUCTION.



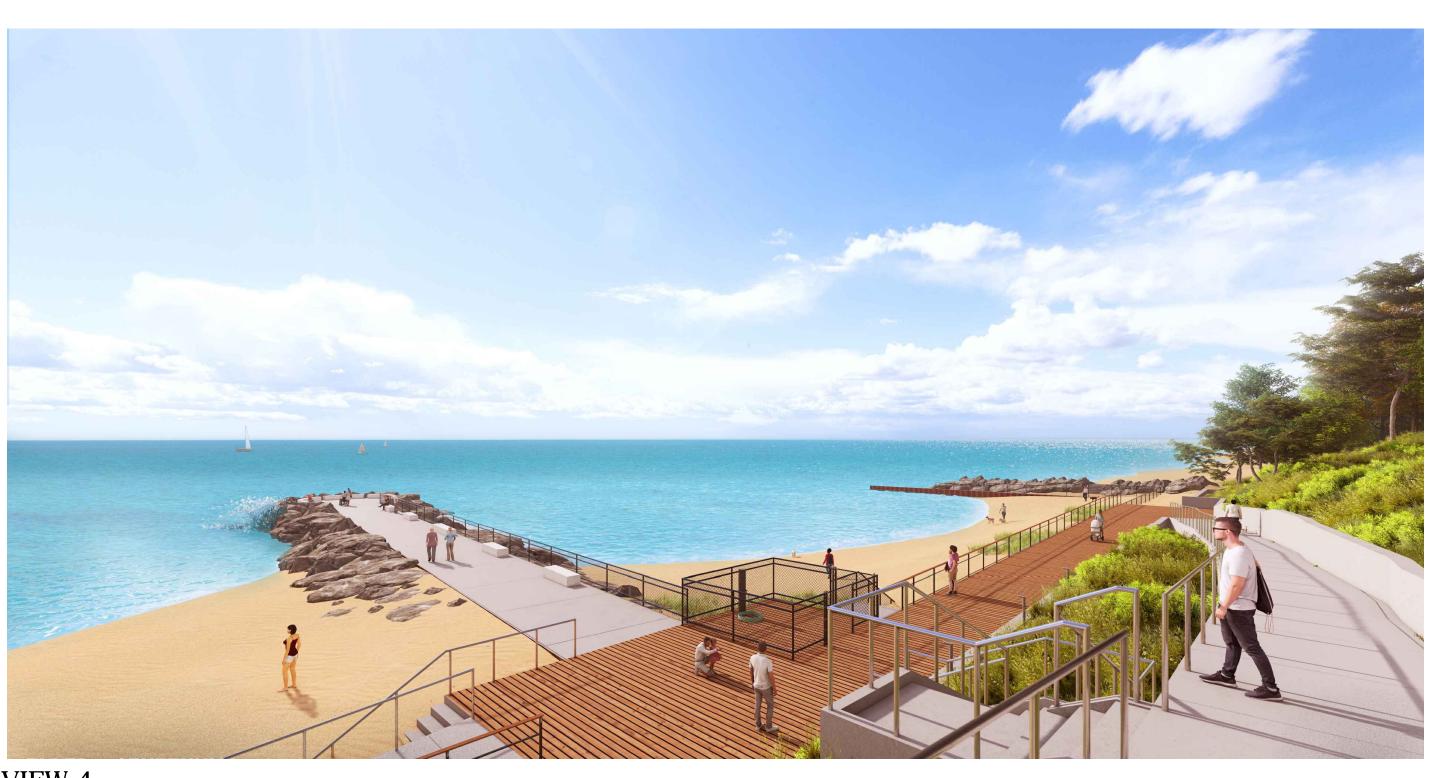
VIEW 1 CENTENNIAL BREAKWATER PIER LOOKING WEST (EYE-LEVEL, APPROX. 65.5" HT.)



VIEW 3 CENTENNIAL SWIMMING BEACH LOOKING SOUTH (EYE-LEVEL, APPROX. 65.5" HT.)



VIEW 2 SOUTH CENTENNIAL LOOKING W/NW (BIRDS EYE)



VIEW 4 CENTENNIAL ACCESS PATH LOOKING E/SE (EYE-LEVEL, APPROX. 65.5" HT.)

RED BARN
Design & Engineering, S.C.
HE T
6750 Woodland Drive Waunakee Wisconsin 53597 p. 608.849.2042 c. 608.843.1870 redbarnde@tds.net
Consultants <b>THE</b> <b>LAKOTA</b> <b>LAKOTA</b> <b>GROUP</b> . 16 West Illinois Street Floor 7 Chicago, Illinois 60654 p 312.467.5445 f 312.467.5484 thelakotagroup.com
Issued for     Rev. Date       Village of Winnetka Special Use Permit     04/03/2024
Project Title:
Site Improvements Centennial Park Winnetka, IL
Prepared For:
Winnetka Park District Winnetka, IL
Graphic Scale
Scale NONE
Drawing Title Overall Site Plan
Sheet No. C102

### DRAWING LIST

T101 Title Sheet C100 Existing Conditions Plan C101 General Site Development Plan C102 Site Preparation and Erosion Control Plan C103 Shoreline Improvement Plan Overview C104 Shoreline Improvement Layout Plan 1 C105 Shoreline Improvement Layout Plan 2 C106 Shoreline Improvement Layout Plan 3 C107 Shoreline Improvement Layout Plan 4 C108 Shoreline Improvements Sections and Details Section A-A' C109 Shoreline Improvements Sections and Details Section B-B' C110 Shoreline Improvements Sections and Details Section C-C' C111 Shoreline Improvements Sections and Details Section D-D' C112 Shoreline Improvements Sections and Details Section E-E' C113 Shoreline Improvements Sections and Details Section F-F' C114 Shoreline Improvements Sections and Details Section G-G' C115 Shoreline Improvements Sections and Details Section H-H C116 Shoreline Improvements Sections and Details Section I-I' C117 Shoreline Improvements Sections and Details Section J-J C118 Shoreline Improvements Sections and Details Section K-K' C119 Shoreline Improvements Sections and Details Section L-L' C120 Shoreline Improvements Corner Details 1 C121 Shoreline Improvements Corner Details 2 C122 Shoreline Improvements Corner Details 3 C123 Shoreline Improvements Corner Details 4 C124 Breakwater Plan Overview C125 Breakwater Layout Plan 1 C126 Breakwater Layout Plan 2 C127 Breakwater Section and Details Section M-M' C128 Breakwater Section and Details Section N-N' C129 Breakwater Corner Details C130 Breakwater Revetment Layout Plan and Sections C131 Walkway Layout Plan and Details C132 Walkway Details C133 Retaining Wall Overview C134 East Retaining Wall Plan and Profile View C135 West Retaining Wall Plan and Profile View 1 C136 West Retaining Wall Plan and Profile View 2 C137 East Retaining Wall Details C138 West Retaining Wall Details C139 Sand Fill Layout Plan C140 Sand Fill Sections C141 Parking Lot Improvements C142 Centennial North Bulkhead Corner Improvements C143 Tree Preservation Plan C144 Overall Site Plan C145 Landscape Plan C146 Planting Details C147 Handrail and Fencing Plan C148 Handrail and Fencing Enlargement Plan A C149 Handrail and Fencing Enlargement Plan B C150 Handrail and Fencing Enlargement Plan C C151 Handrail and Fencing Enlargement Plan C and D C152 Hardscape Details C153 Hardscape Details C154 Boardwalk Details C155 Handrail Details C156 Handrail Details C157 Handrail Details C158 Handrail Details C159 Handrail Details C160 Handrail Details C161 Fencing Details C162 Fencing Details C163 Gate Details C164 Site Furnishings C165 Site Furnishings C166 Retaining Wall Details C167 Retaining Wall Details C168 Lighting and Electrical Plan C169 Lighting and Electrical Details C170 Lighting and Electrical Details C171 Lighting and Electrical Details C172 Lighting and Electrical Details C173 Dog and Foot Wash Plumbing Layout Plan C174 Stairs - General Notes and Bill of Materials C175 Stairs – General Plan, Foundation Plan and Framing Plan C176 Stairs – Structural Details (Sheet 1 of 2) C177 Stairs – Structural Details (Sheet 1 of 2) C178 Overall Restoration Plan C179 Restoration Plan C180 Restoration Notes C181 Restoration Notes

C182 Site Closure Plan

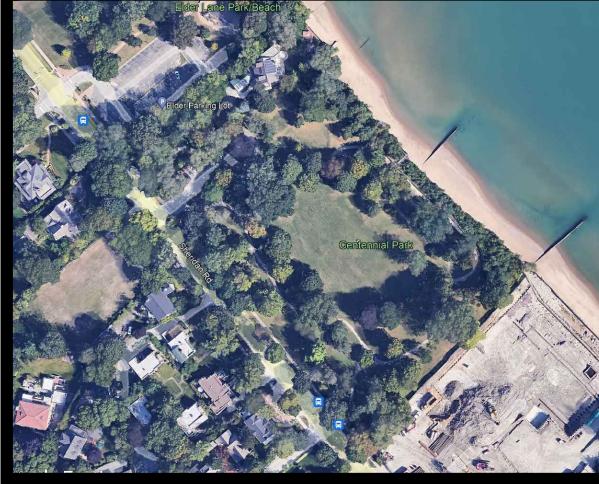


LOCATION MAP

**ENGINEER**: RED BARN Design & Engineering, SC 6750 Woodland Drive Waunakee, Wisconsin 53597 Ph: (608) 849-2042 Attn: Matthew Wright, P.E.

The Lakota Group One East Wacker Drive Chicago, IL 60601 Ph: (312) 467-5445 Attn: Scott Freres, ASLA

# Site Improvements **Centennial Park** Winnetka, IL



SOURCE : GOOGLE EARTH PROJECT SITE NTS



NTS

# LANDSCAPE ARCHITECT:

# **OWNER**: Winnetka Park District



540 Hibbard Road Winnetka, IL 60093 Ph: (847) 501-2040 Attn: Costa Kutulas

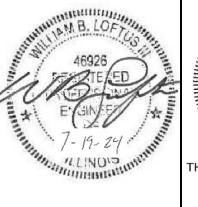




11-30-25

License Expires 11-30-24

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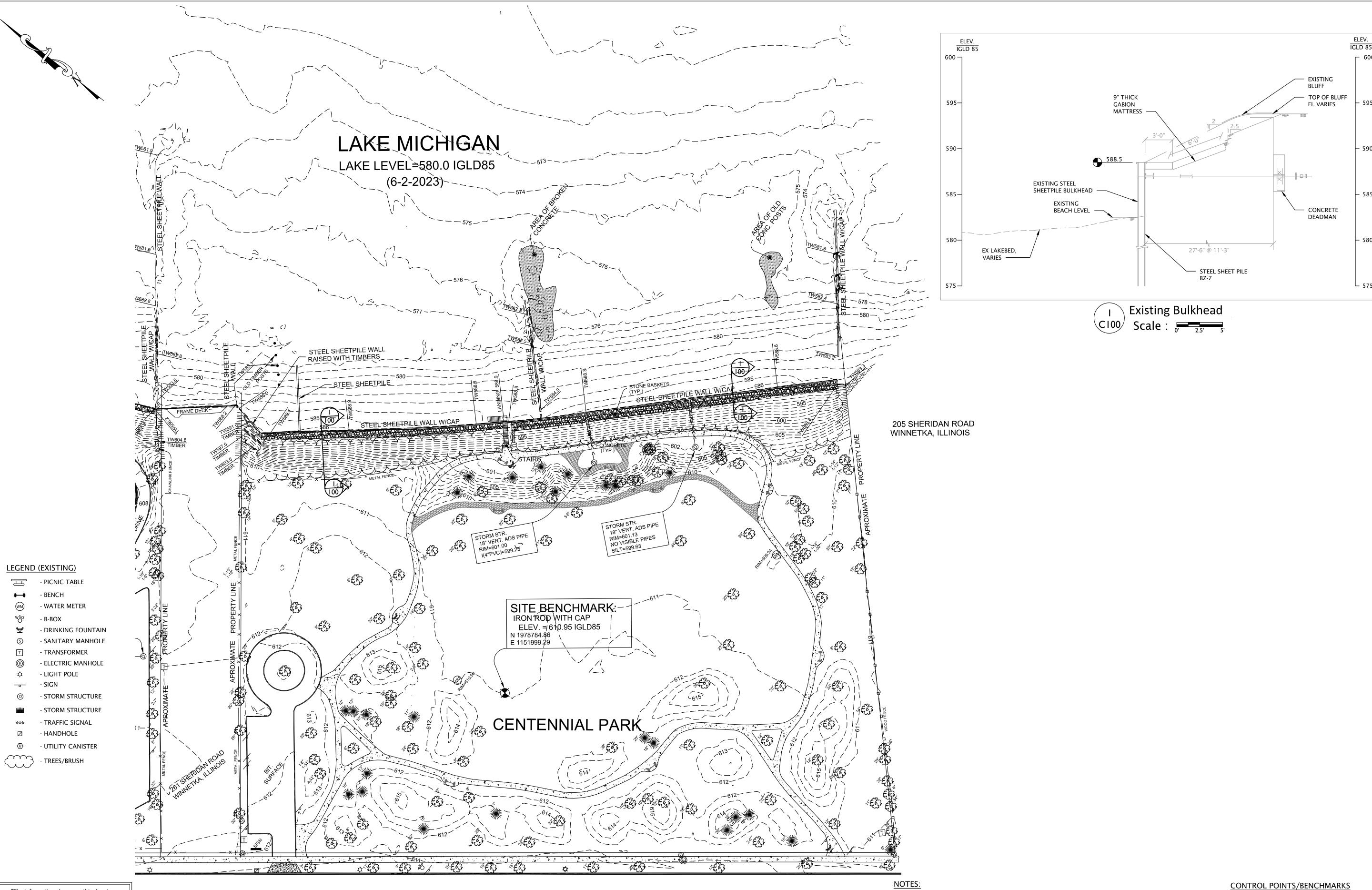
**License Expires** 11-30-25





11-30-25

RED BARN         Design & Engineering, S.C.         Image: Construction of the state of the		
Consultants		
Issued for       Rev. Date         70% Submittal       04/08/24         100% Submittal       06/28/24         Bidding And Construction       07/19/24		
Project Title: Site Improvements Centennial Park Winnetka, IL		
Prepared For:		
Winnetka Park District Winnetka, IL		
Graphic Scale		
Scale Nono		
Scale None Drawing Title Title Sheet		
Sheet No.		



"The information shown on this drawing concerning type and location of underground utilities is not guaranteed to be accurate or all inclusive. The contractor is responsible for making his own determinations as to the type and location of underground utilities as may be necessary to avoid damage thereto."



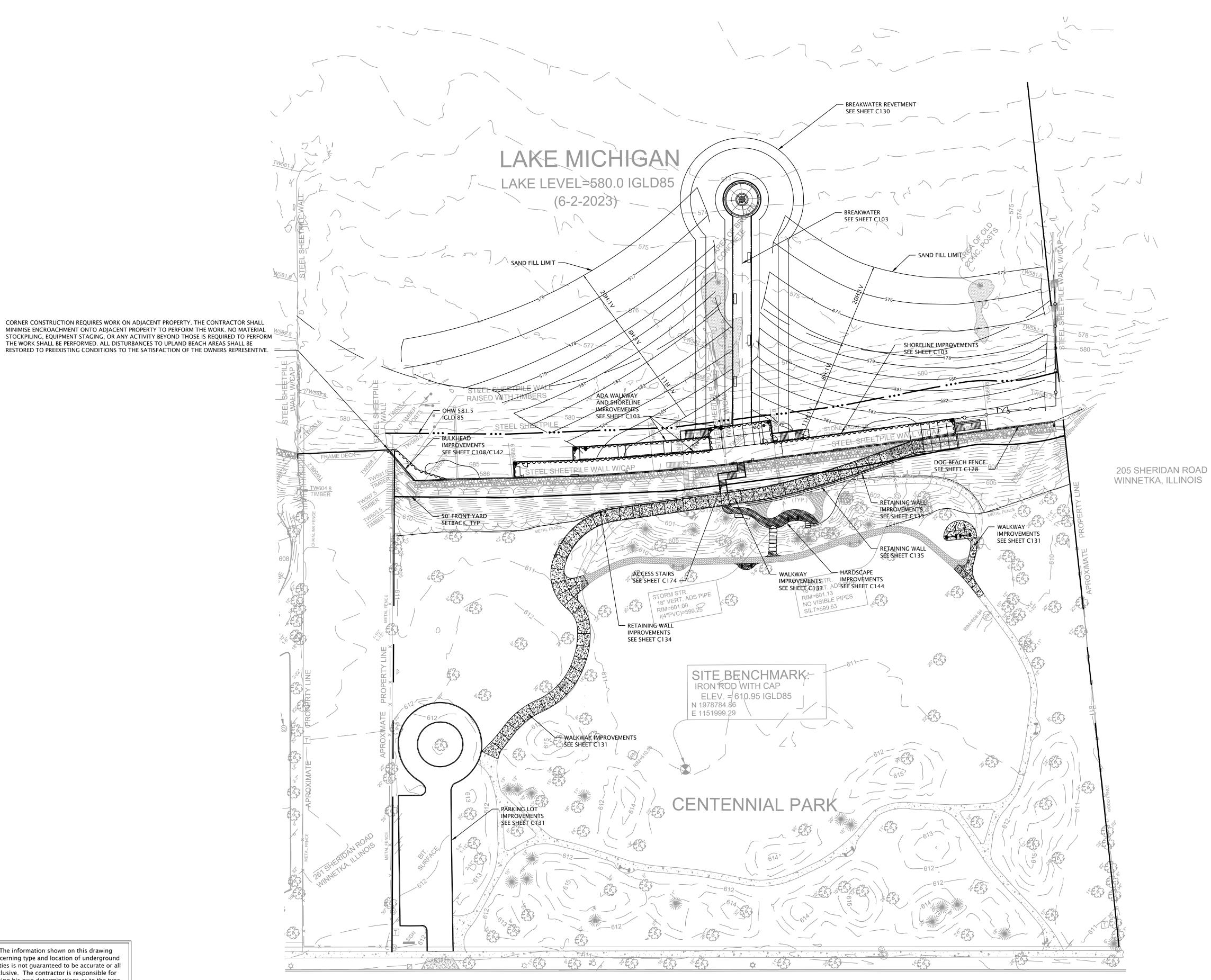
Know what's **below**. **Call** before you dig.

# SHERIDAN ROAD

- 1. BASEMAP, TOPOGRAPHIC AND BATHYMETRIC INFORMATION PREPARED FROM SURVEYS PERFORMED IN JAN 2024.
- 2. HORIZONTAL DATUM IS BASED ON ILLINOIS STATE PLANE COORDINATE SYSTEM. NAD 83 EAST ZONE 1201 - ESTABLISHED USING TRIMBLE VRS NOW NETWORK .
- 3. VERTICAL DATUM IS IGLD85 (NAVD88 0.51' = IGLD85)
- 4. TOPOGRAPHIC AND BATHYMETRIC SURVEYS GENERATING CONTOURS AT ONE (1) FOOT INTERVALS.
- 5. UNDERGROUND UTILITIES ARE BASED ON FIELD OBSERVATIONS. 6. UNDERGROUND UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY, AND ARE NOT
- GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR/OWNER IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATION OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO. CONTRACTOR/OWNER SHALL CALL FOR A JUNE LOCATE PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES.

- 35 00	RED BARN Design & Engineering, S.C.
95	
90	6750 Woodland Drive Waunakee Wisconsin 53597 p. 608.849.2042 c. 608.843.1870 redbarnde@tds.net
85	Consultants
30	TERRA TECHNOLOGY
75	IERKKA IECHINOLOGI LAND SURVEYING, INC. 24198 ROSE AVE. LAKE ZURICH, ILLINOIS 60047 PHONE: (647) 540-8606 E-MAIL: TILS.105BCGLOBAL.NET
	Issued for         Rev. Date           70% Submittal         04/08/24           100% Submittal         06/28/24
	Bidding And Construction     07/19/24
	Project Title:
	Site Improvements Centennial Park Winnetka, IL
	Prepared For: Winnetka Park District Winnetka II
	Winnetka, IL
	Graphic Scale 0'  20'  40' (In Feet) I Inch = 40 Ft.
	Scale   Inch = 40 Ft.
	Drawing Title Existing Conditions Plan
	Sheet No. C100

CROSS CUT ON CONC. PIER ELEV. = 584.67 IGLD 85 N 1979426.45 E 1152033.01 IRON ROD WITH CAP ELEV. = 610.95 IGLD 85 N 1978784.86 E 1151999.29 IRON ROD WITH CAP ELEV. = 610.87 IGLD 85 N 1979327.21 E 1151738.75



"The information shown on this drawing concerning type and location of underground utilities is not guaranteed to be accurate or all inclusive. The contractor is responsible for making his own determinations as to the type and location of underground utilities as may be necessary to avoid damage thereto."



Know what's **below. Call** before you dig.

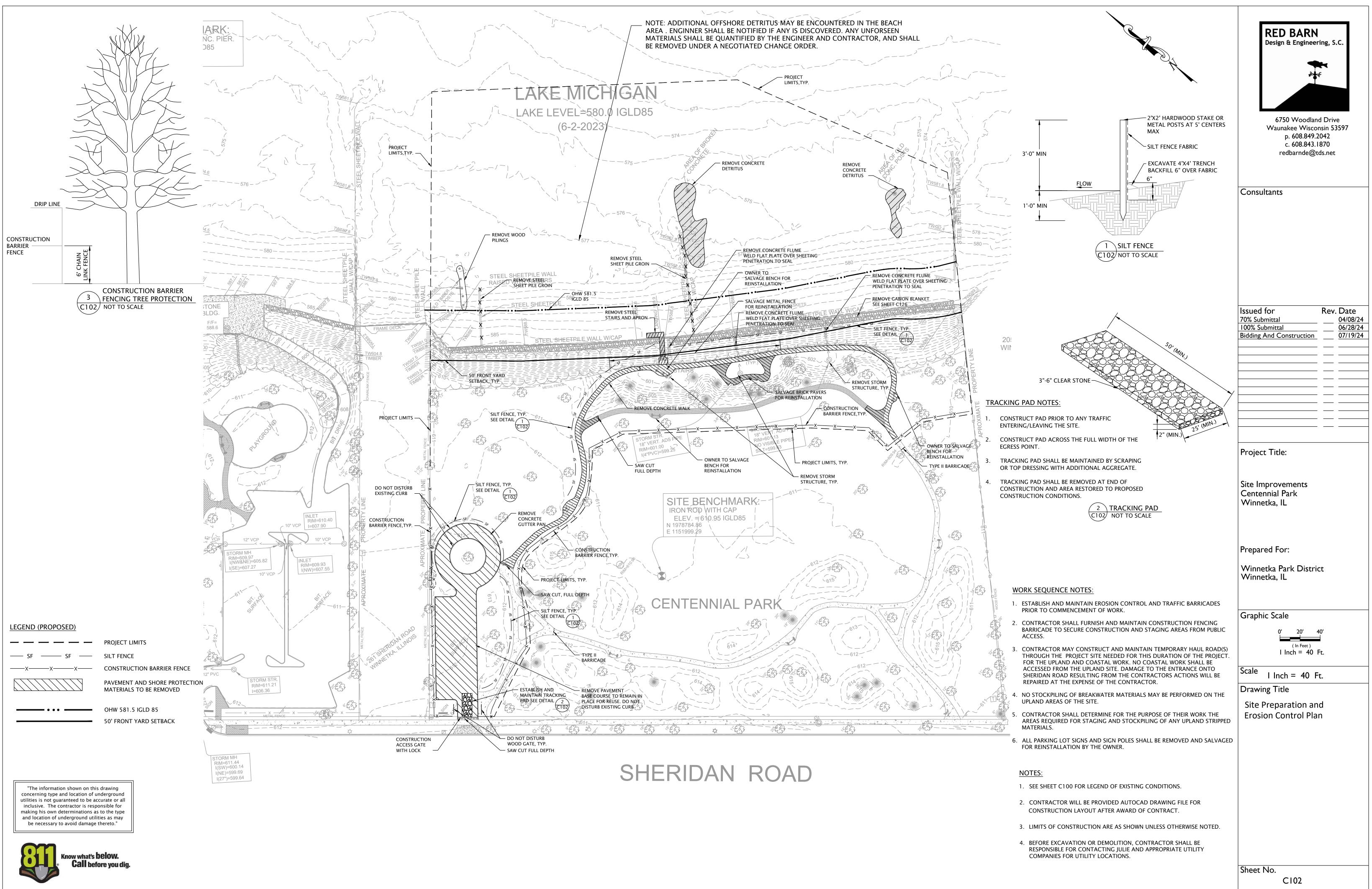
CORNER CONSTRUCTION REQUIRES WORK ON ADJACENT PROPERTY. THE CONTRACTOR SHALL MINIMISE ENCROACHMENT ONTO ADJACENT PROPERTY TO PERFORM THE WORK. NO MATERIAL

# SHERIDAN ROAD

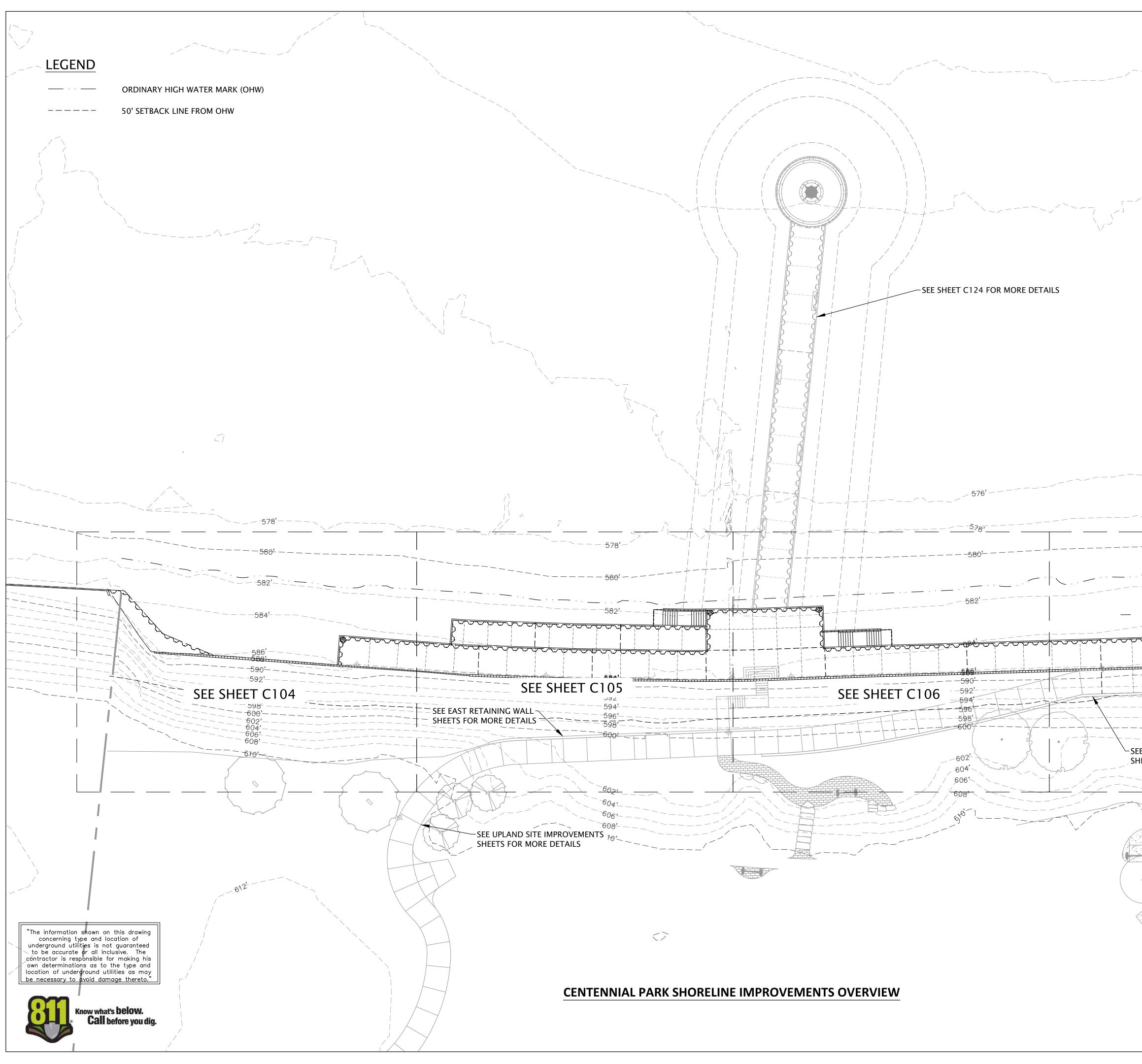
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Gener	al Site	Plan		
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LEGEND (PROPOSED)

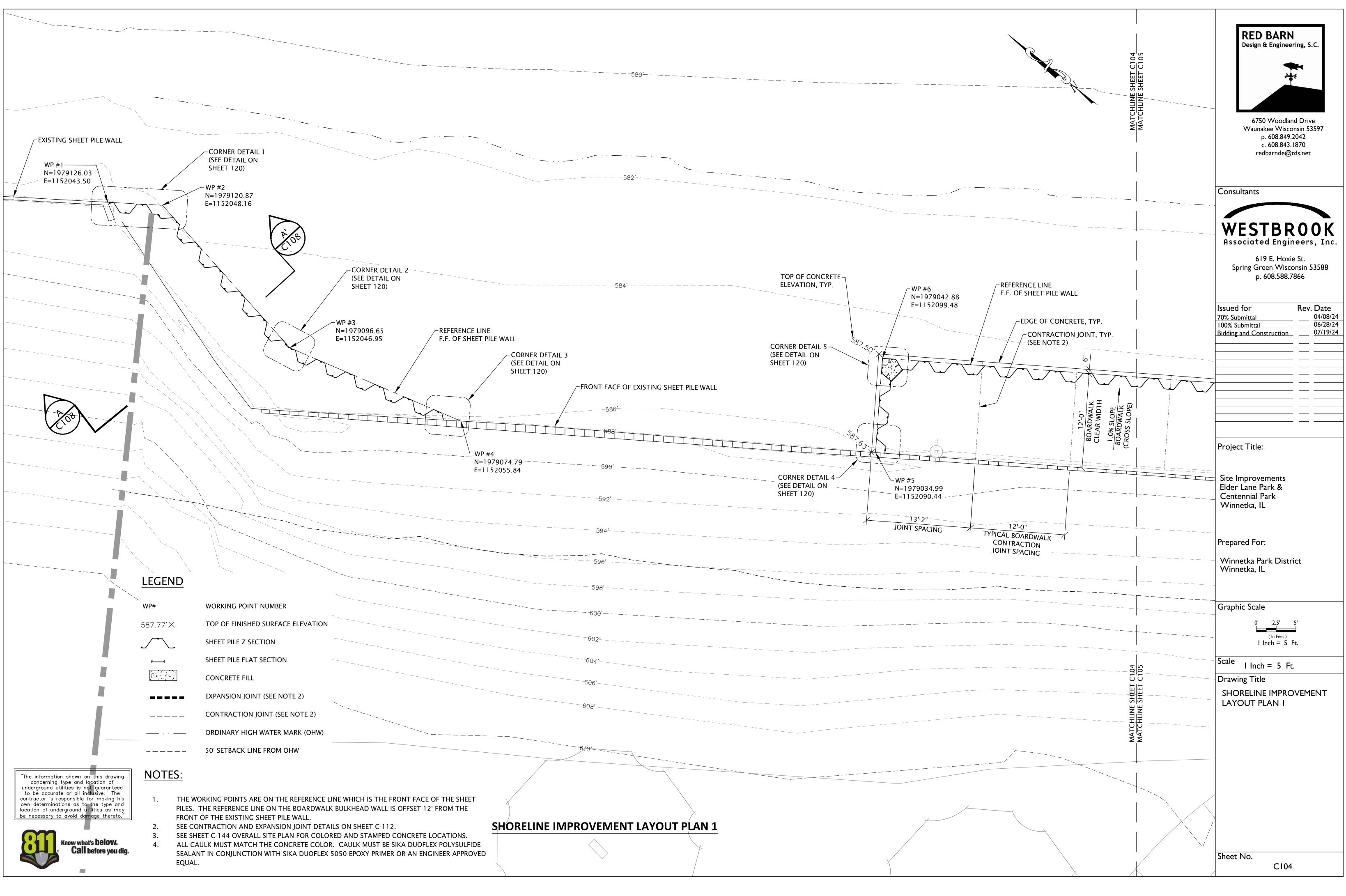
OHW 581.5 IGLD 85 50' FRONT YARD SETBACK



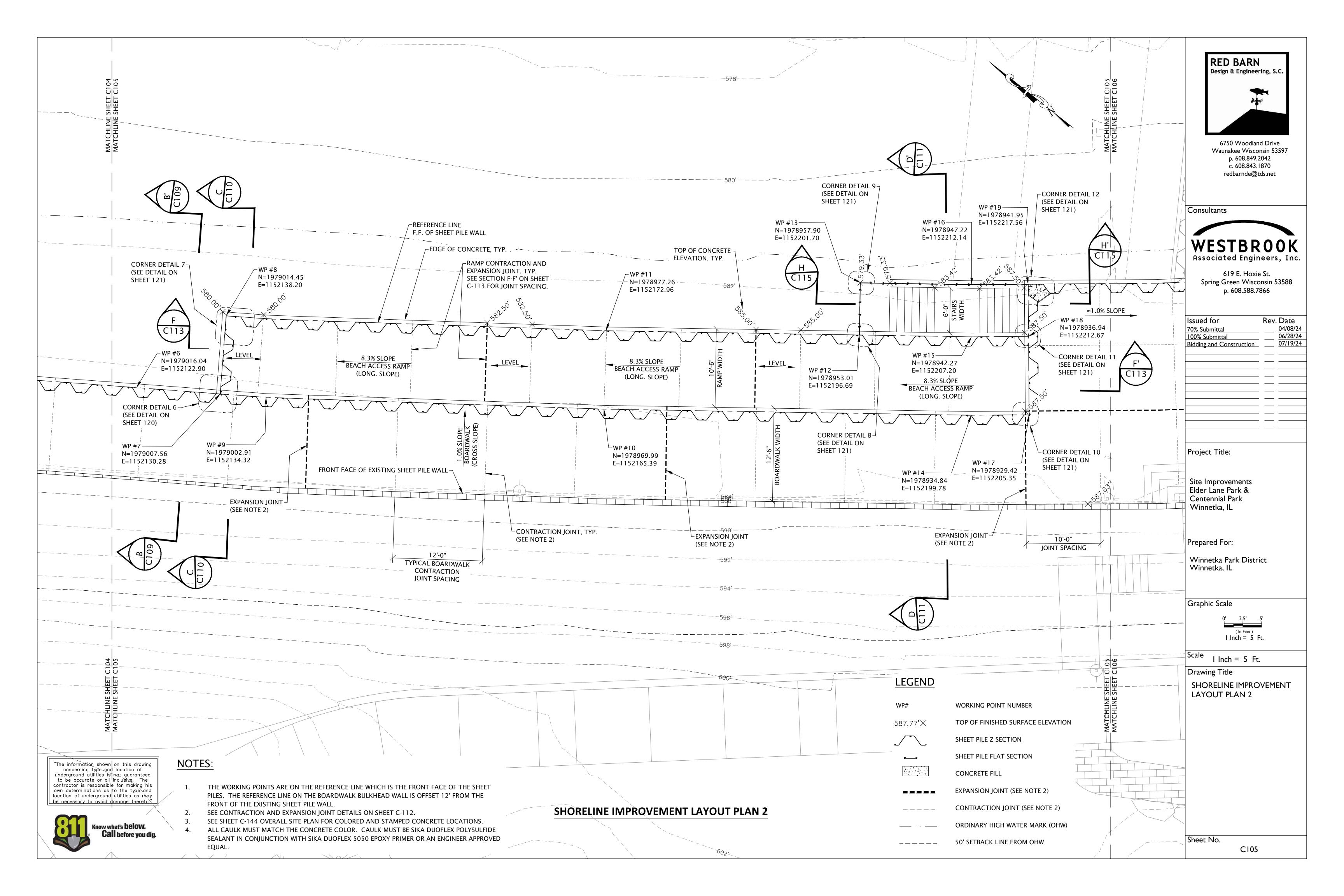


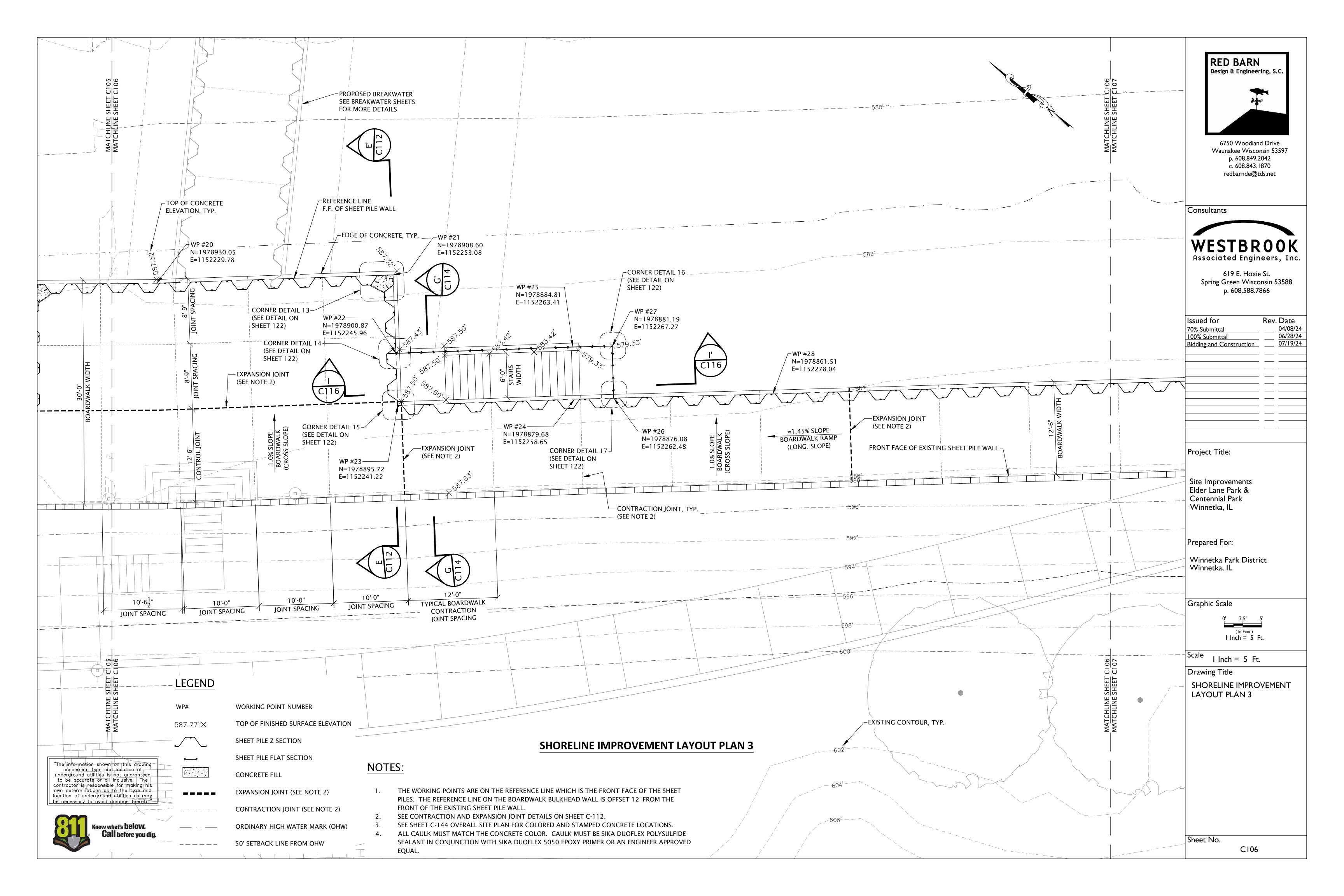


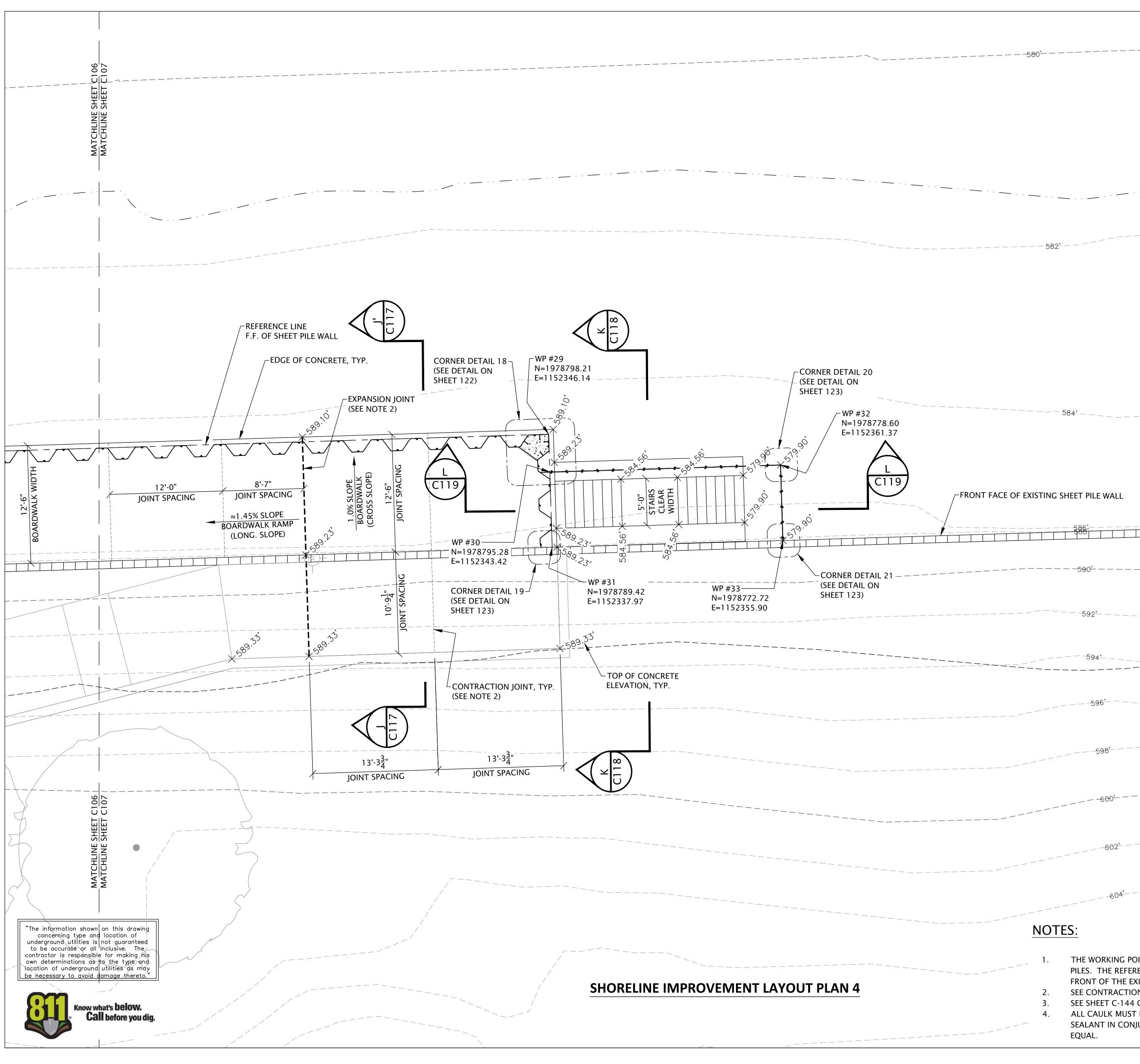
	RED BARN Design & Engineering, S.C.
	Consultants <b>WESTBROOK</b> Associated Engineers, Inc. 619 E. Hoxie St. Spring Green Wisconsin 53588 p. 608.588.7866 Issued for 70% Submittal 100% Submittal 100% Submittal Bidding and Construction
	Project Title: Site Improvements Centennial Park Winnetka, IL
-584'	Prepared For: Winnetka Park District Winnetka, IL Graphic Scale 0' = 10' = 20' (In Feet) I Inch = 20 Ft. Scale
	Scale I Inch = 20 Ft. Drawing Title SHORELINE IMPROVEMENT OVERVIEW
	Sheet No. C103



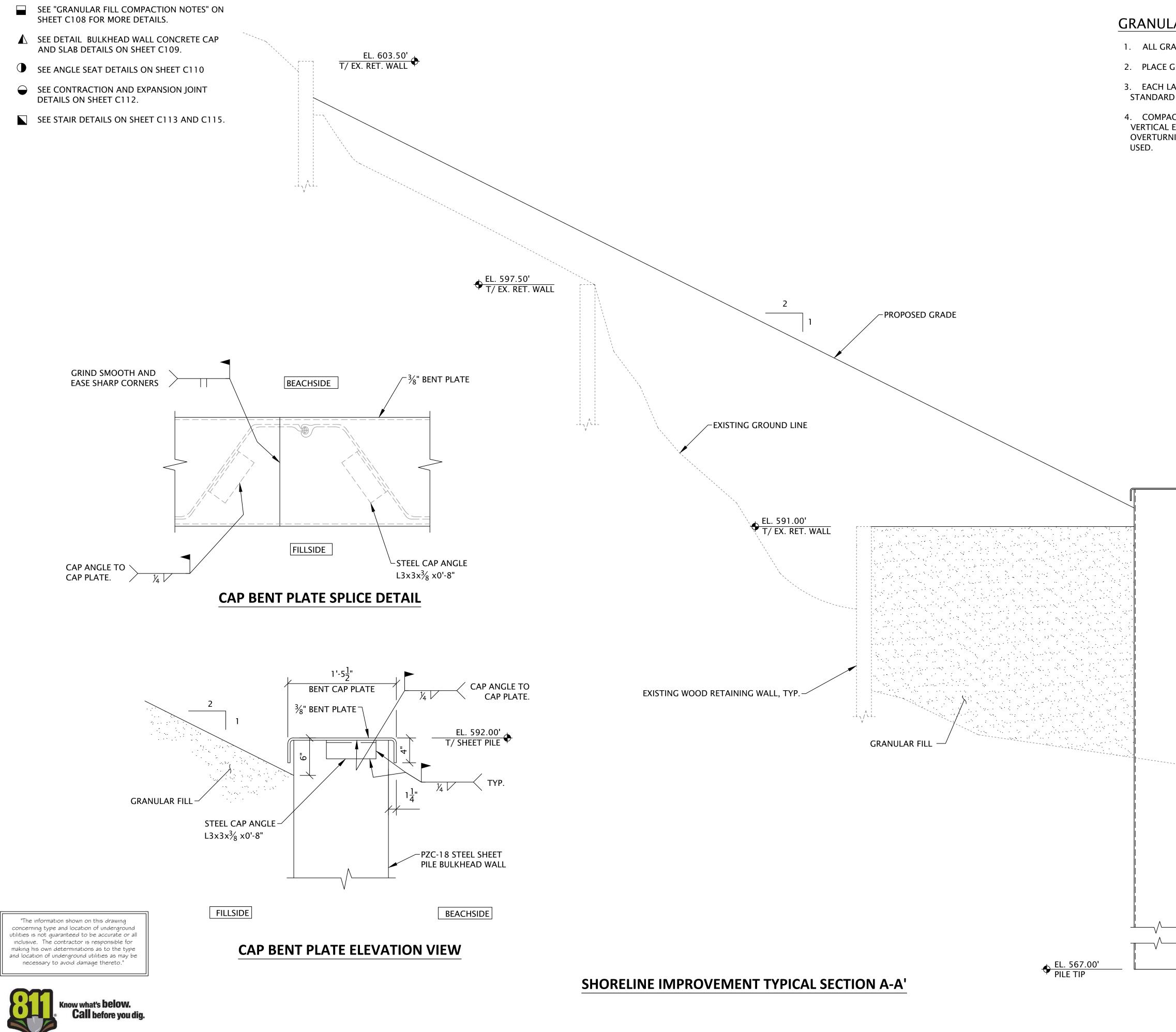








			RED BARN	
	~ /~\		Design & Engineering	g, S.C.
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			6750 Woodland D	Drive
			Waunakee Wisconsii p. 608.849.204 c. 608.843.187	n 53597 2
	               _		redbarnde@tds.	
			Consultants	
			WESTBR( Associated Engine	
			619 E. Hoxie St Spring Green Wiscons p. 608.588.786	in 53588
			Issued for R	ev. Date
			70% Submittal       100% Submittal       Bidding and Construction	04/08/24 06/28/24 07/19/24
			Project Title:	
			Site Improvements	
	```		Elder Lane Park & Centennial Park Winnetka, IL	
			Prepared For:	
LEGEND			Winnetka Park District Winnetka, IL	
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	CONCRETE FILL		Drawing Title	
	EXPANSION JOINT (SE	EE NOTE 2)	SHORELINE IMPROVE	EMENT
	CONTRACTION JOIN	T (SEE NOTE 2)		
	ORDINARY HIGH WA	TER MARK (OHW)		
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OINTS ARE ON THE REFERENCE LINE		ΑCF OF THE SHEET		
RENCE LINE ON THE REFERENCE LINE TRENCE LINE TRENCE LINE ON THE BOARDWALK BU				
ON AND EXPANSION JOINT DETAILS ( OVERALL SITE PLAN FOR COLORED		ETE LOCATIONS.		
T MATCH THE CONCRETE COLOR. C.	AULK MUST BE SIKA DU	JOFLEX POLYSULFIDE	Sheet No.	
			C107	



### **GRANULAR FILL COMPACTION NOTES:**

VERTICAL I OVERTURN

1. ALL GRANULAR FILL SHALL CONFORM TO ILLINOIS DOT CA 6.

2. PLACE GRANULAR FILL IN 12" MAX. LIFTS.

3. EACH LAYER MUST BE COMPACTED TO A MINIMUM OF 95% OF THE STANDARD PROCTOR MAXIMUM DENSITY (ASTM D698).

CTION EQUIPMENT OR METHODS THAT PRODUCE HORIZONTAL OR EARTH PRESSURES THAT MAY CAUSE EXCESSIVE DISPLACEMENT OR JING, OR MAY DAMAGE THE BULKHEAD STRUCTURE, SHALL NOT BE	Waunakee Wisconsin 53597 p. 608.849.2042 c. 608.843.1870 redbarnde@tds.net
	Consultants WESTBROOK Associated Engineers, Inc. 619 E. Hoxie St. Spring Green Wisconsin 53588 p. 608.588.7866
	Issued forRev. Date70% Submittal04/08/24100% Submittal06/28/24Bidding and Construction07/19/24
- <sup>3</sup> / <sub>8</sub> " BENT CAP PLATE EL. 592.00' +	
EL. 592.00' T/ SHEET PILE	Project Title: Site Improvements Centennial Park
-PZC-18 CANTILEVERED SHEET PILE BULKHEAD WALL (25' LONG SHEETS)	Winnetka, IL Prepared For: Winnetka Park District Winnetka, IL
-EXISTING GROUND LINE	Graphic Scale: $ \begin{array}{c} 0^{"} & \frac{3}{8}^{"} & \frac{3}{4}^{"} \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & & $
ORDINARY HIGH WATER EL. 581.50'	Scale: 3/4" Inch = 1 Ft. Drawing Title SHORELINE IMPROVEMENTS SECTIONS AND DETAILS SECTION A-A'
	Sheet No.
	C108

RED BARN Design & Engineering, S.C.

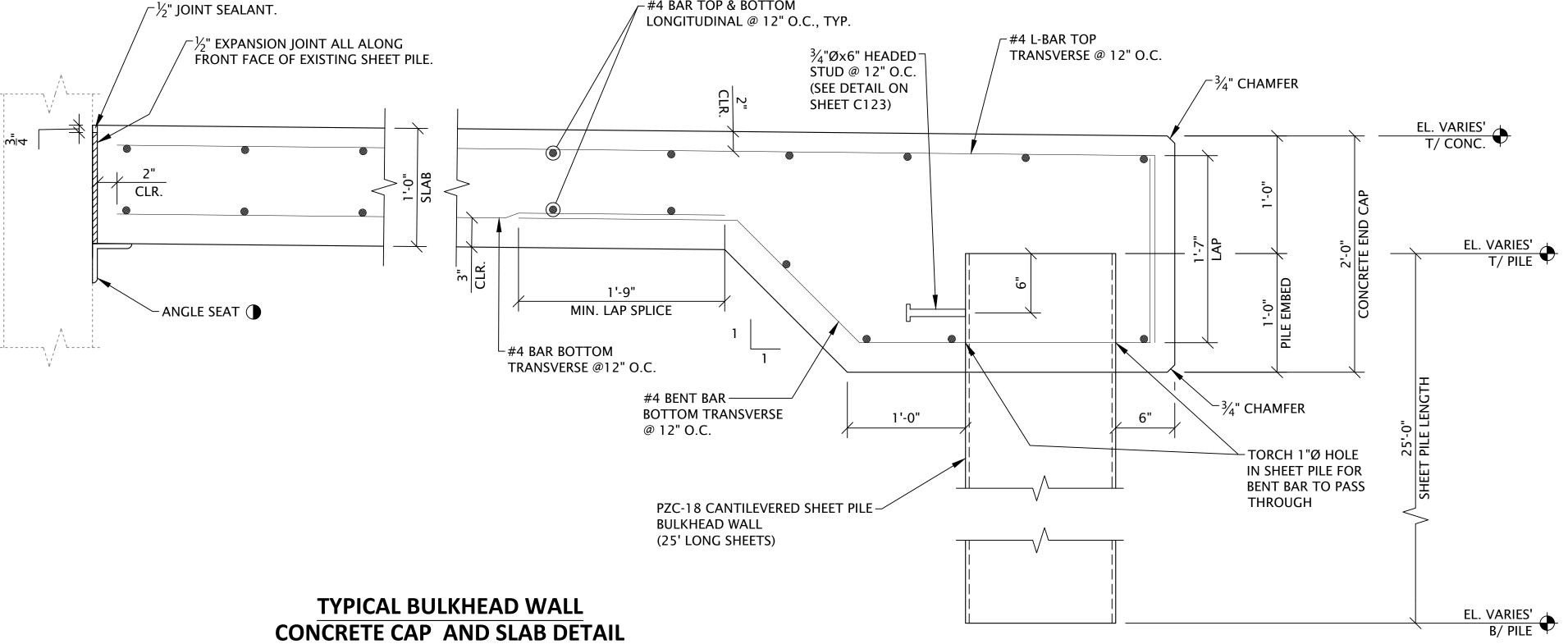
6750 Woodland Drive

- SEE "GRANULAR FILL COMPACTION NOTES" ON SHEET C108 FOR MORE DETAILS.
- SEE DETAIL BULKHEAD WALL CONCRETE CAP AND SLAB DETAILS ON SHEET C109.
- SEE ANGLE SEAT DETAILS ON SHEET C110
- SEE CONTRACTION AND EXPANSION JOINT DETAILS ON SHEET C112.
- SEE STAIR DETAILS ON SHEET C113 AND C115.

### NOTES:

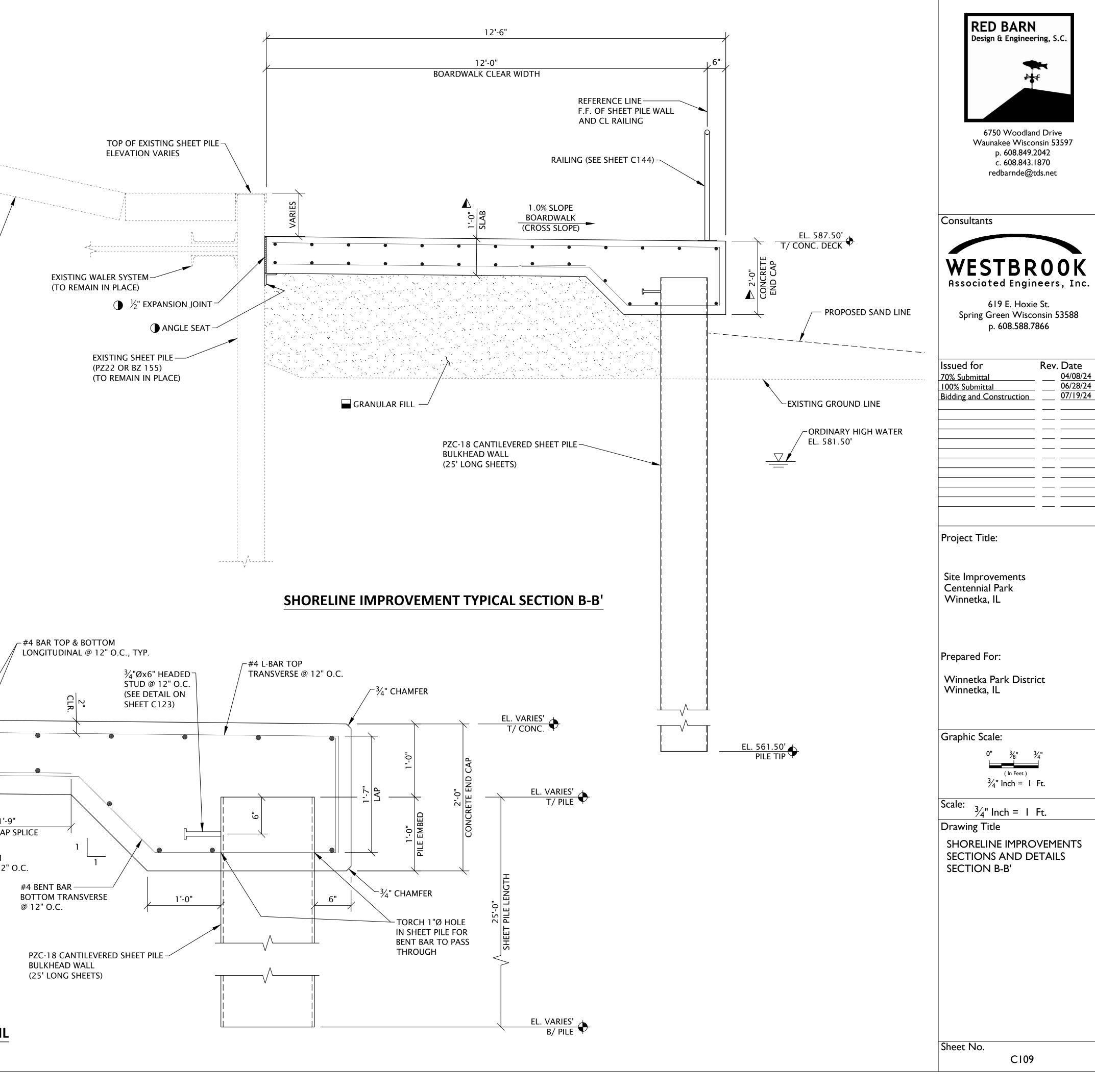
- 1. SEE SHEET C-144 OVERALL SITE PLAN FOR COLORED AND STAMPED CONCRETE LOCATIONS.
- ALL CAULK MUST MATCH THE CONCRETE COLOR. CAULK MUST BE 2. SIKA DUOFLEX POLYSULFIDE SEALANT IN CONJUNCTION WITH SIKA DUOFLEX 5050 EPOXY PRIMER OR AN ENGINEER APPROVED EQUAL.

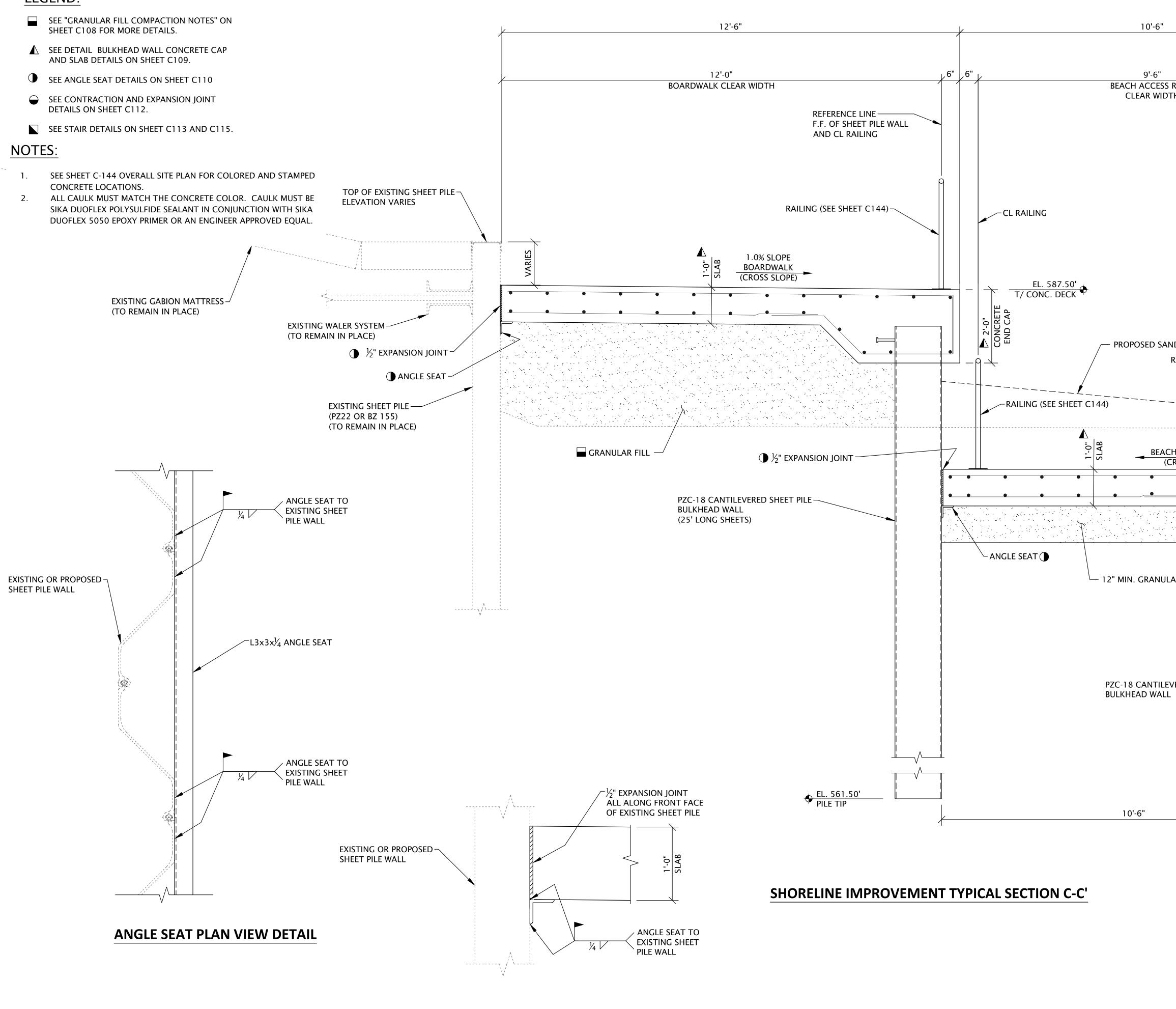
EXISTING GABION MATTRESS -(TO REMAIN IN PLACE)



"The information shown on this drawing concerning type and location of underground utilities is not guaranteed to be accurate or all inclusive. The contractor is responsible for making his own determinations as to the type and location of underground utilities as may be necessary to avoid damage thereto."

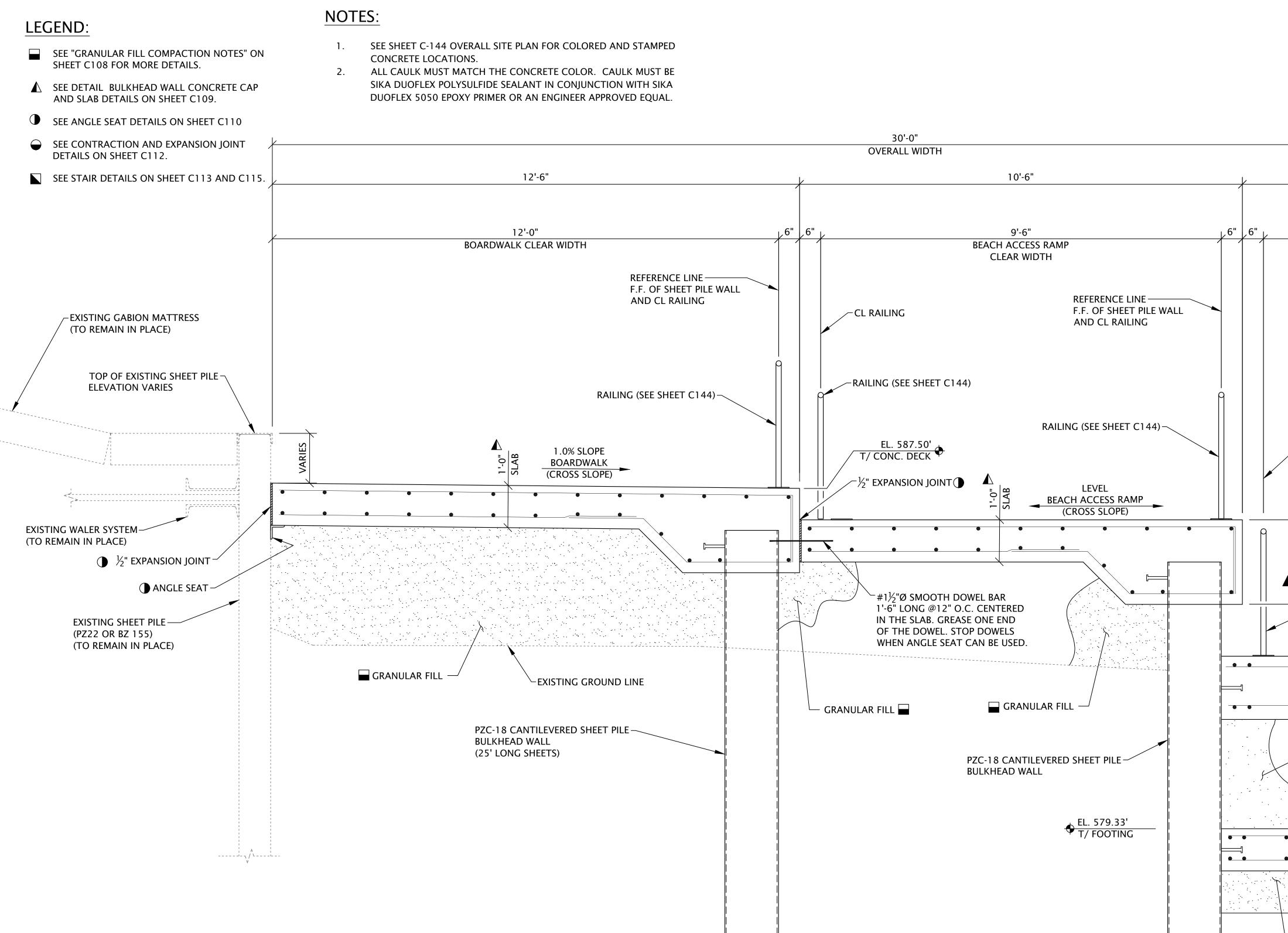






ANGLE SEAT ELEVATION VIEW DETAIL

	RED BARN         Design & Engineering, S.C.         Image: Comparison of the system of
REFERENCE LINE F.F. OF SHEET PILE WALL AND CL RAILING	Consultants WESTBROOK Associated Engineers, Inc. 619 E. Hoxie St. Spring Green Wisconsin 53588 p. 608.588.7866
ID LINE       RAILING (SEE SHEET C144) — β	Issued for 70% SubmittalRev. Date 04/08/24100% Submittal06/28/24Bidding and Construction07/19/24
AR FILL	Project Title: Site Improvements Centennial Park Winnetka, IL Prepared For:
	Winnetka Park District Winnetka, IL Graphic Scale: $0^{"}$ $\frac{3}{8}^{"}$ $\frac{3}{4}^{"}$ $\frac{1}{9}$ $\frac{1}{9}$ $\frac{1}{9}$ $\frac{1}{9}$ $\frac{1}{9}$ Ft. Scale: $\frac{3}{4}^{"}$ Inch = 1 Ft. Drawing Title SHORELINE IMPROVEMENTS SECTIONS AND DETAILS SECTION C-C'
"The information shown on this drawing concerning type and location of underground utilities is not guaranteed to be accurate or all inclusive. The contractor is responsible for making his own determinations as to the type and location of underground utilities as may be necessary to avoid damage thereto."	Sheet No. C110



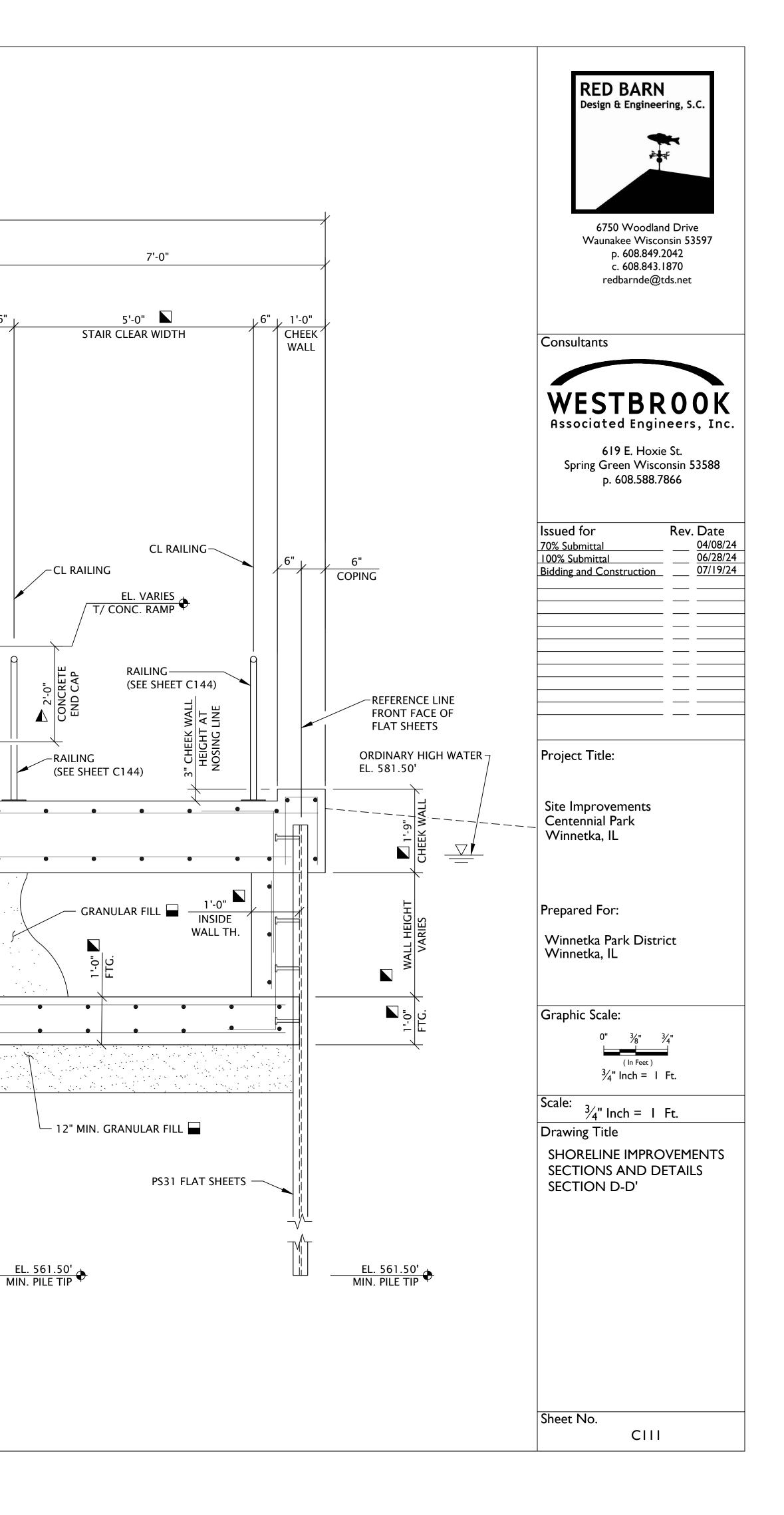
"The information shown on this drawing concerning type and location of underground utilities is not guaranteed to be accurate or all inclusive. The contractor is responsible for making his own determinations as to the type and location of underground utilities as may be necessary to avoid damage thereto."

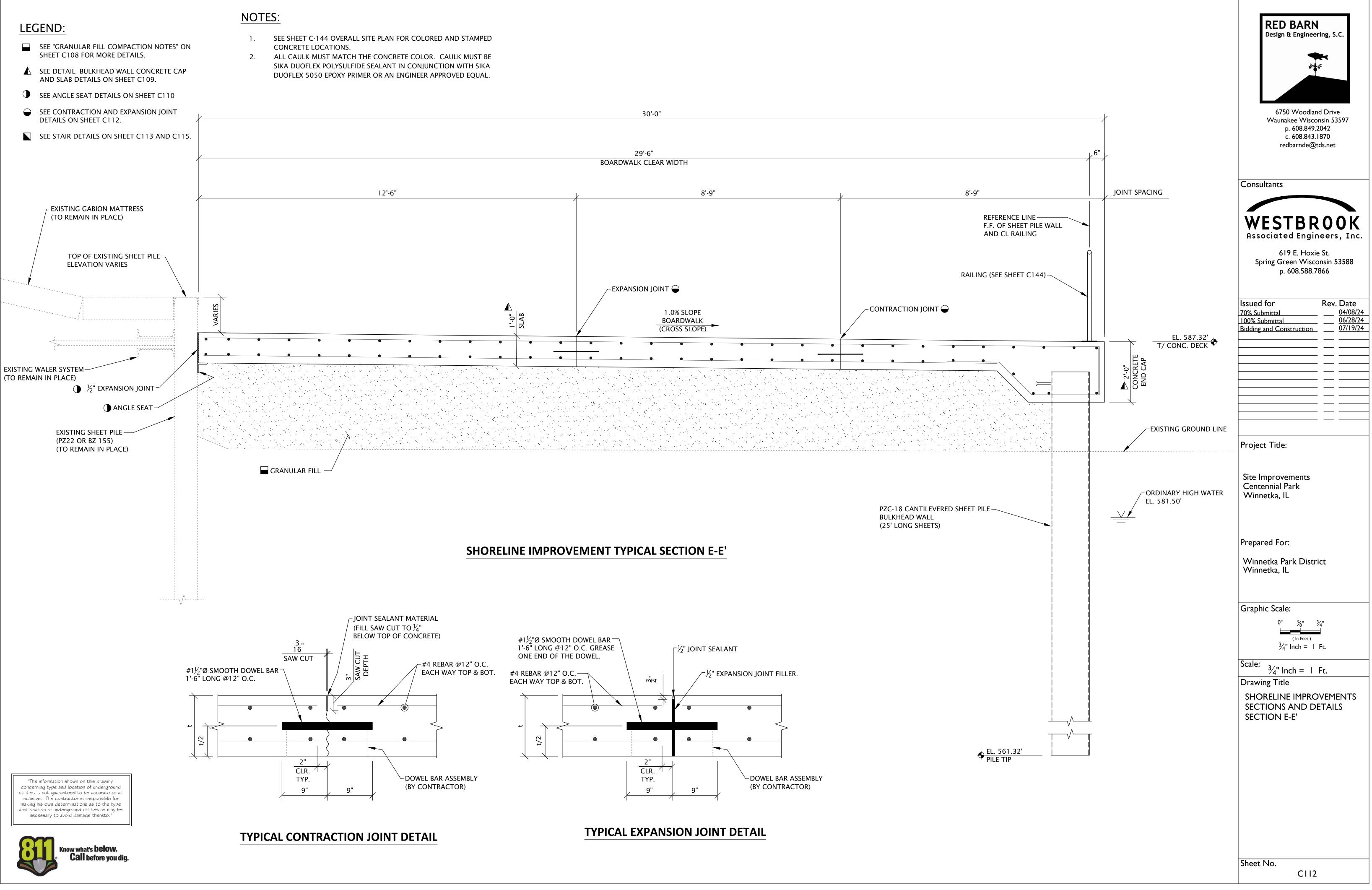


what's **below** Call before you dig. ◆ EL. 561.50' PILE TIP

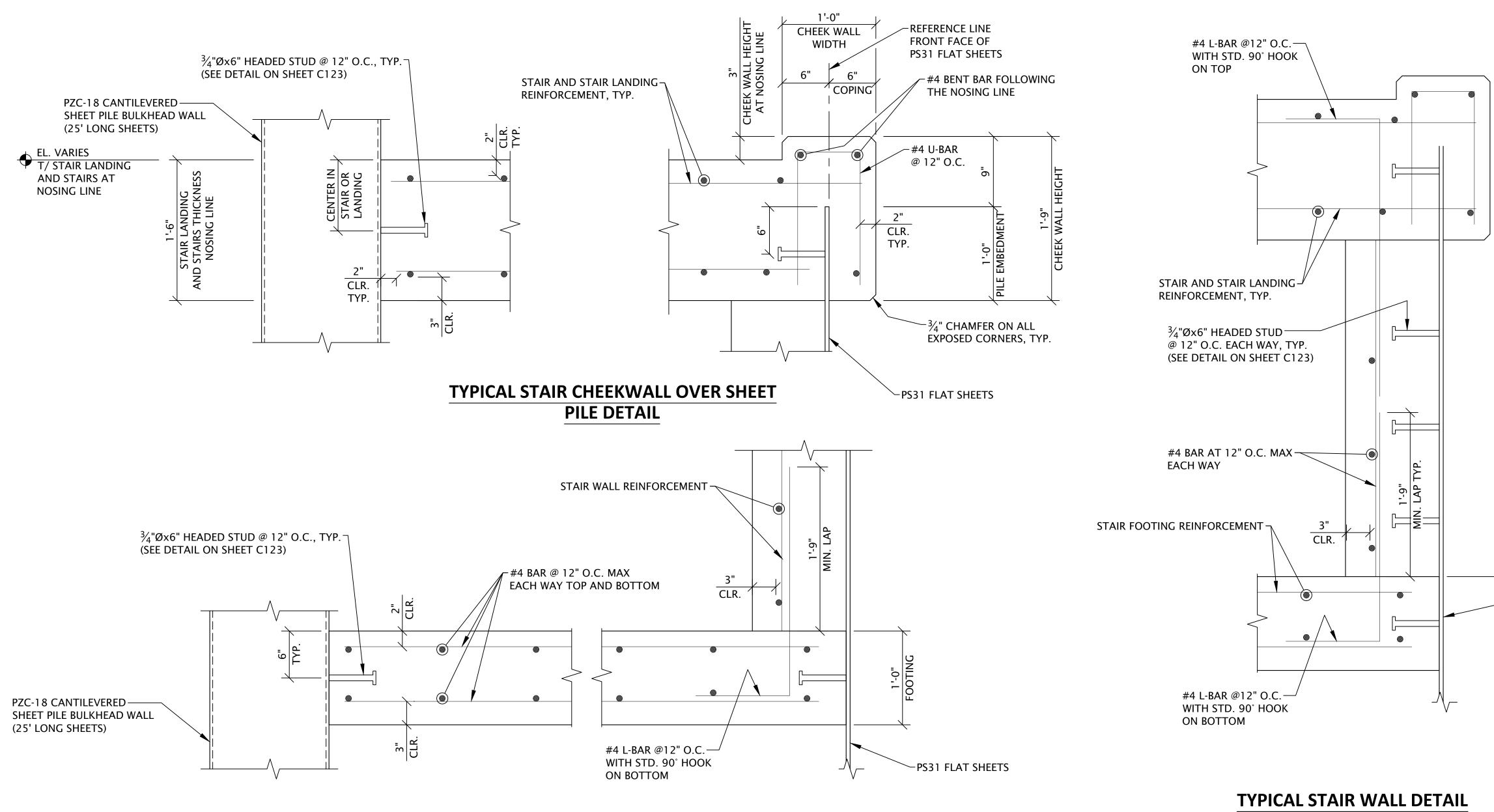
### SHORELINE IMPROVEMENT TYPICAL SECTION D-D'

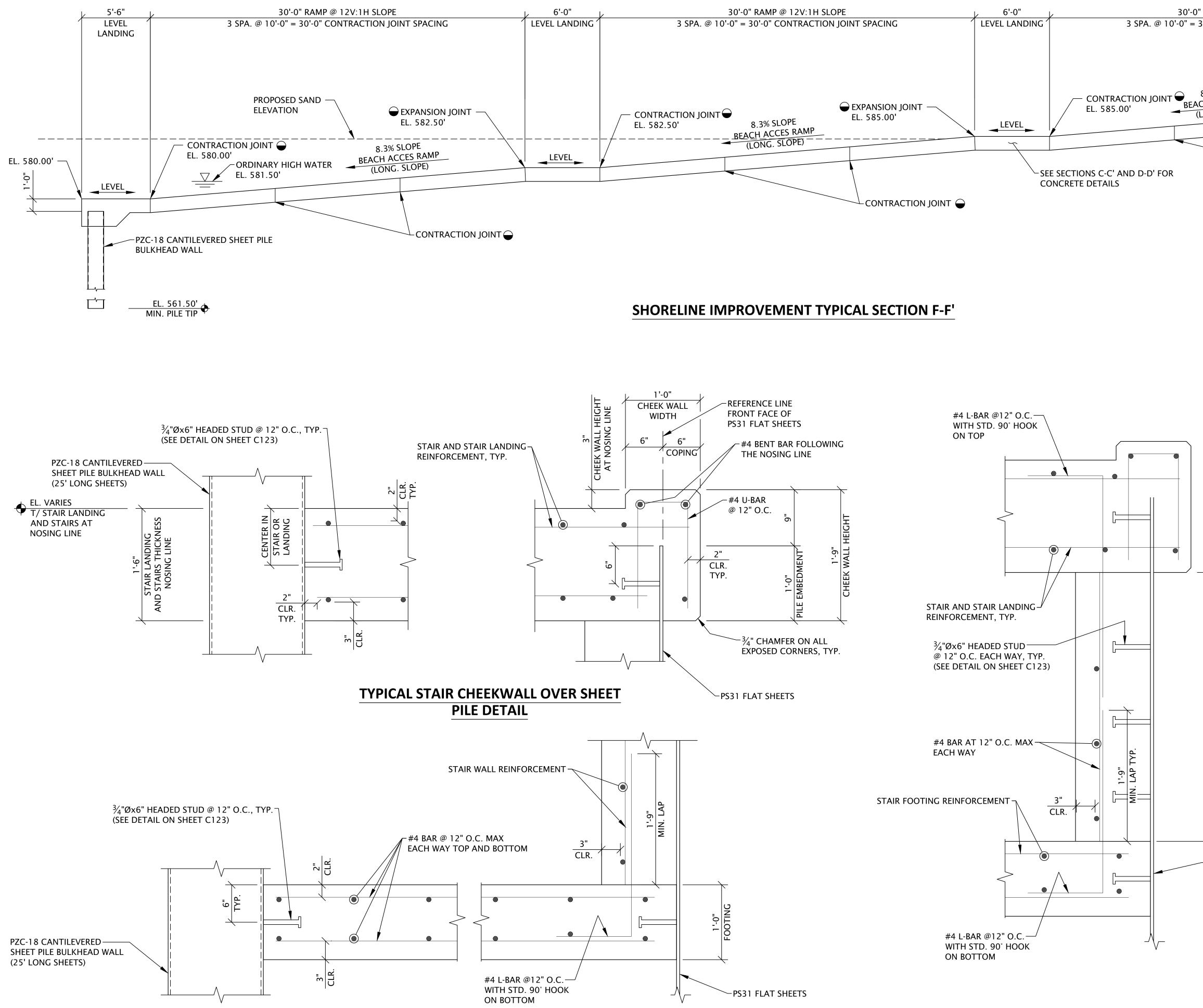
10'-6"



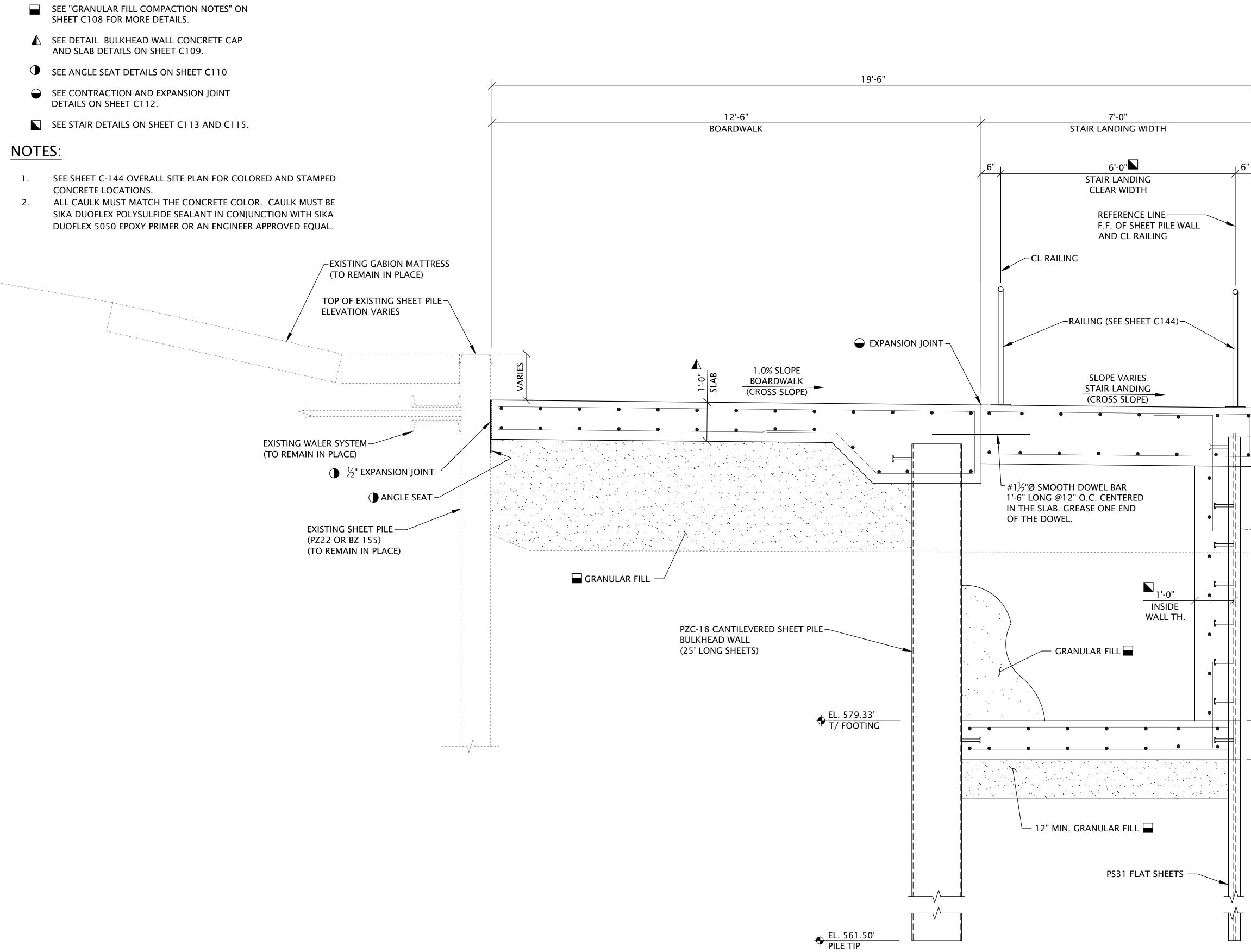


### **TYPICAL STAIR FOOTING DETAIL**





RAMP @ 12V:1H SLOP	¥ · · · · · · · · · · · · · · · · · · ·	RED BARN Design & Engineering, S.C.
80'-0" CONTRACTION J 8.3% SLOPE CH ACCES RAMP	V/2" EXPANSION JOINT (NO DOWEL)	6750 Woodland Drive
PZC-18 CANT BULKHEAD W (25' LONG SH		Waunakee Wisconsin 53597         p. 608.849.2042         c. 608.843.1870         redbarnde@tds.net         Consultants <b>WESTBROOK</b> Associated Engineers, Inc.         619 E. Hoxie St.         Spring Green Wisconsin 53588         p. 608.588.7866         Issued for         70% Submittal         100% Submittal         Bidding and Construction
ARIES		Project Title: Site Improvements Centennial Park Winnetka, IL Prepared For: Winnetka Park District Winnetka, IL
MOT 1. 2. PS31 FLAT SHEETS	ES: SEE SHEET C-144 OVERALL SITE PLAN FOR COLORED AND STAMPED CONCRETE LOCATIONS. ALL CAULK MUST MATCH THE CONCRETE COLOR. CAULK MUST BE SIKA DUOFLEX POLYSULFIDE SEALANT IN CONJUNCTION WITH SIKA DUOFLEX 5050 EPOXY PRIMER OR AN ENGINEER APPROVED EQUAL.	Graphic Scale: $0"  \frac{1}{8}"  \frac{1}{4}"$ $\frac{1}{4}"$ Inch = 1 Ft. Scale: $\frac{3}{4}"$ Inch = 1 Ft. Drawing Title SHORELINE IMPROVEMENTS SECTIONS AND DETAILS SECTION F-F'
	<ul> <li>LEGEND:</li> <li>SEE "GRANULAR FILL COMPACTION NOTES" ON SHEET C108 FOR MORE DETAILS.</li> <li>SEE DETAIL BULKHEAD WALL CONCRETE CAP AND SLAB DETAILS ON SHEET C109.</li> <li>SEE ANGLE SEAT DETAILS ON SHEET C110</li> <li>SEE CONTRACTION AND EXPANSION JOINT DETAILS ON SHEET C112.</li> <li>SEE STAIR DETAILS ON SHEET C113 AND C115.</li> </ul>	Sheet No.



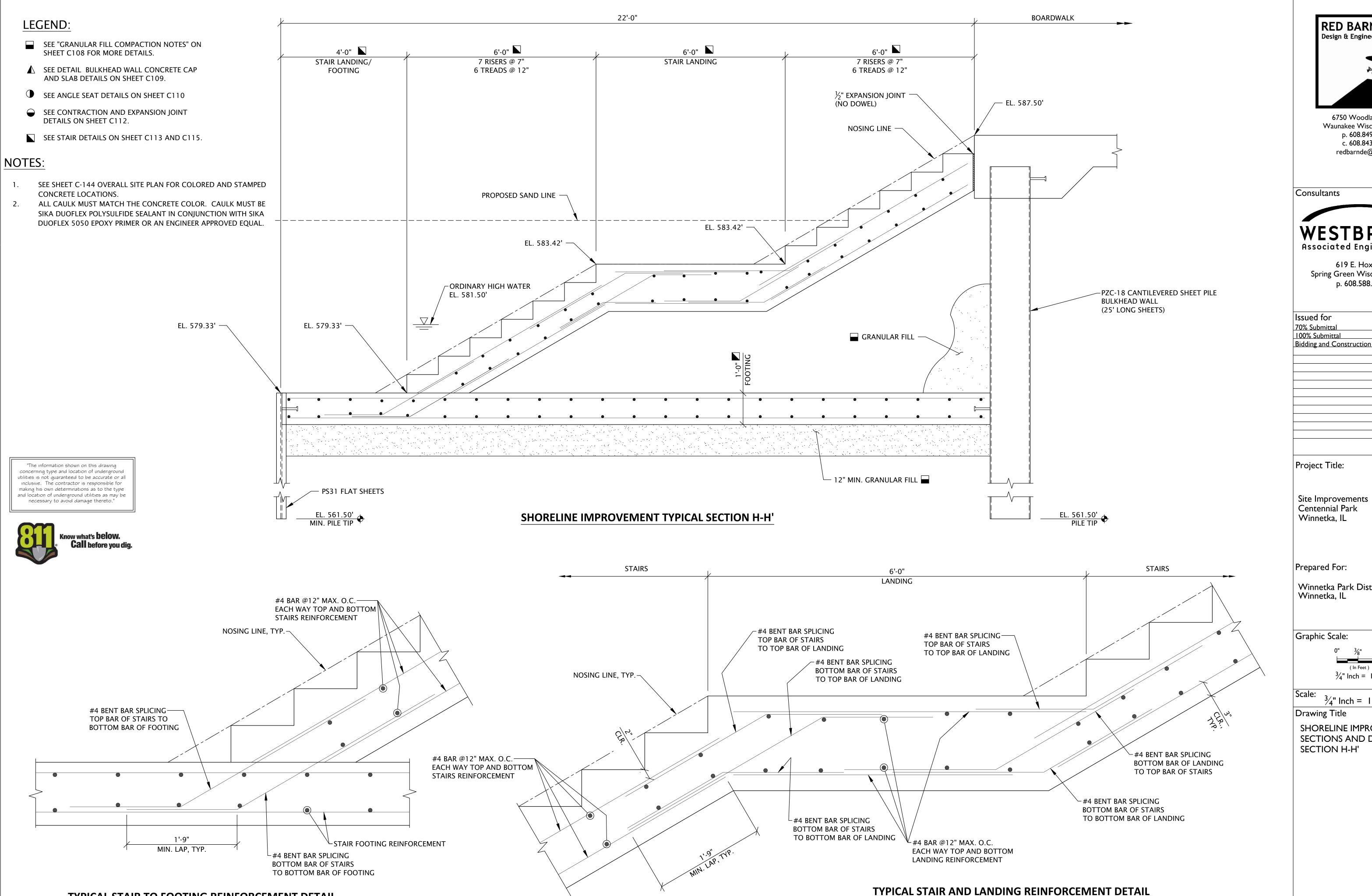
"The information shown on this drawing concerning type and location of underground utilities is not guaranteed to be accurate or all inclusive. The contractor is responsible for making his own determinations as to the type and location of underground utilities as may be necessary to avoid damage thereto."



now what's **below. Call before you dig**.

### **SHORELINE IMPROVEMENT TYPICAL SECTION G-G'**

	RED BARN         Design & Engineering, S.C.         Image: Construction of the state of the
	Consultants WESTBROOK Associated Engineers, Inc.
	619 E. Hoxie St. Spring Green Wisconsin 53588 p. 608.588.7866
$\frac{EL. VARIES}{T/ CONC. DECK}$	Issued for 70% SubmittalRev. Date 04/08/24100% Submittal06/28/24Bidding and Construction07/19/24
<sup>δ</sup> <sup>1</sup> <sup>1</sup> <sup>1</sup> <sup>1</sup> <sup>1</sup> <sup>1</sup> <sup>1</sup> <sup>1</sup> <sup>1</sup> <sup>1</sup>	
PROPOSED SAND LINE 	Project Title:
ORDINARY HIGH WATER EL. 581.50'	Site Improvements Elefetelamiæl Park & Øéimteetikia,I Park Winnetka, IL
	Prepared For: Winnetka Park District Winnetka, IL
	Graphic Scale: $ \begin{array}{c} 0^{"}  \frac{3}{8}^{"}  \frac{3}{4}^{"} \\                                    $
	Scale: 3/4" Inch = 1 Ft. Drawing Title SHORELINE IMPROVEMENTS SECTIONS AND DETAILS SECTION G-G'
EL. 561.50' MIN. PILE TIP	
	Sheet No. CI14



**TYPICAL STAIR TO FOOTING REINFORCEMENT DETAIL** 

Sheet No.

**RED BARN** 

Design & Engineering, S.C.

6750 Woodland Drive

Waunakee Wisconsin 53597

р. 608.849.2042

c. 608.843.1870 redbarnde@tds.net

WESTBROOK

Associated Engineers, Inc.

619 E. Hoxie St. Spring Green Wisconsin 53588 р. 608.588.7866

70% Submittal

100% Submittal

Bidding and Construction

Winnetka Park District

 $\frac{3}{8}$ "  $\frac{3}{4}$ "

( In Feet )

 $\frac{3}{4}$ " Inch = 1 Ft.

SHORELINE IMPROVEMENTS

SECTIONS AND DETAILS

SECTION H-H'

 $\frac{3}{4}$ " lnch = 1 Ft.

Winnetka, IL

Rev. Date

04/08/24

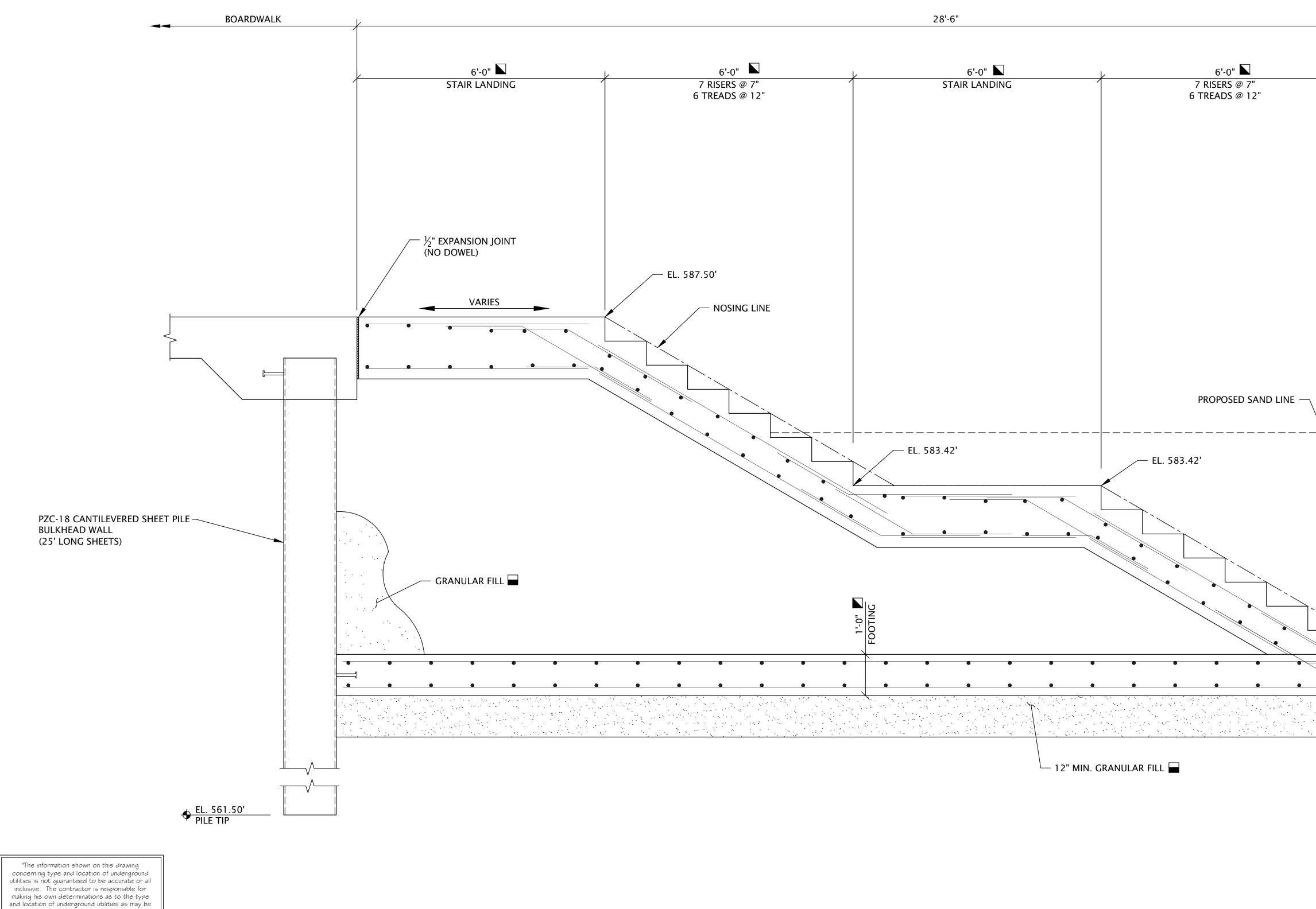
06/28/24

07/19/24

- SEE "GRANULAR FILL COMPACTION NOTES" ON SHEET C108 FOR MORE DETAILS.
- ▲ SEE DETAIL BULKHEAD WALL CONCRETE CAP AND SLAB DETAILS ON SHEET C109.
- SEE ANGLE SEAT DETAILS ON SHEET C110
- SEE CONTRACTION AND EXPANSION JOINT DETAILS ON SHEET C112.
- SEE STAIR DETAILS ON SHEET C113 AND C115.

### NOTES:

- 1. SEE SHEET C-144 OVERALL SITE PLAN FOR COLORED AND STAMPED CONCRETE LOCATIONS.
- ALL CAULK MUST MATCH THE CONCRETE COLOR. CAULK MUST BE 2. SIKA DUOFLEX POLYSULFIDE SEALANT IN CONJUNCTION WITH SIKA DUOFLEX 5050 EPOXY PRIMER OR AN ENGINEER APPROVED EQUAL.

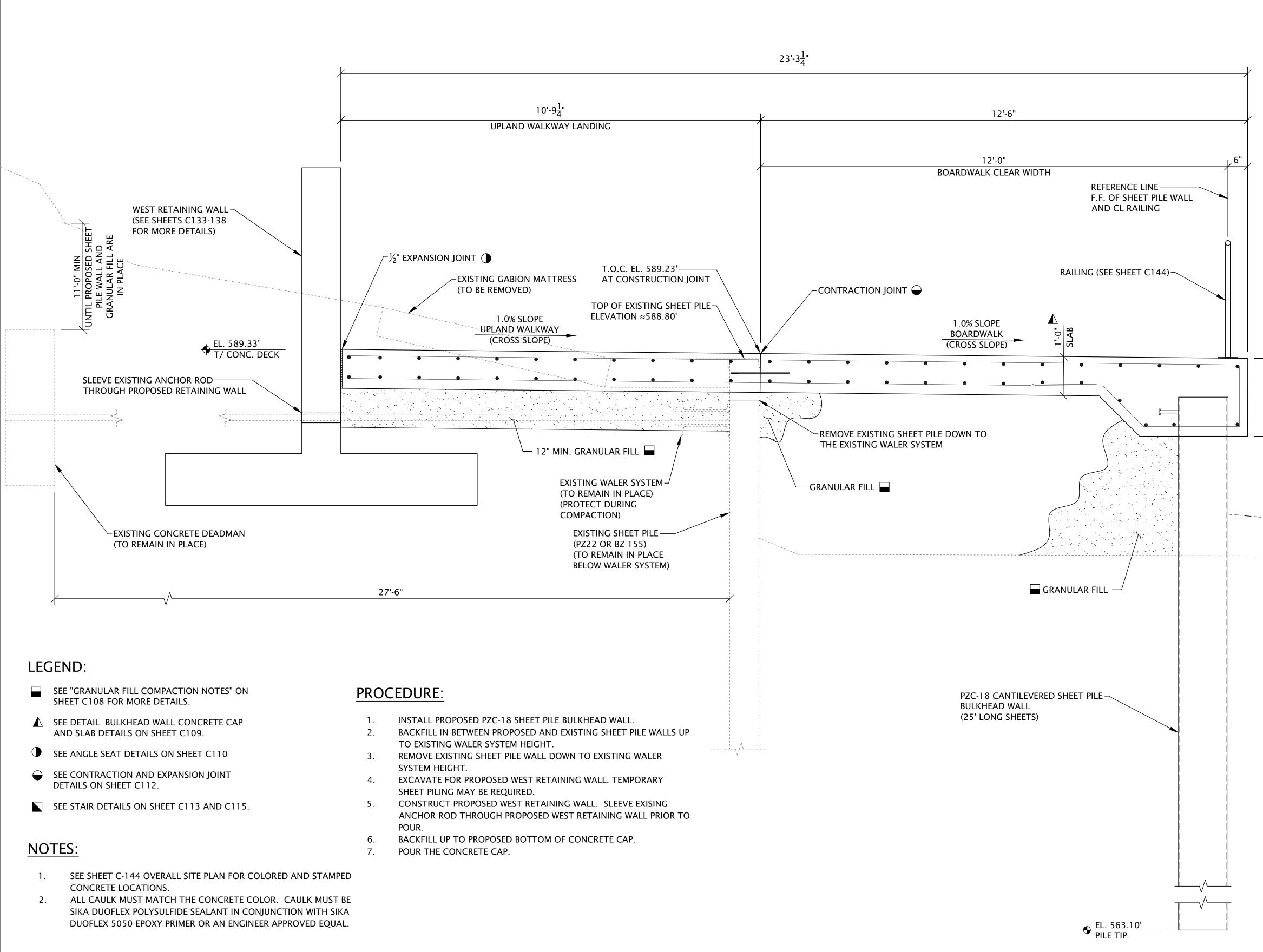


necessary to avoid damage thereto."



### **SHORELINE IMPROVEMENT TYPICAL SECTION I-I'**

	RED BARN Design & Engineering, S.C.
4'-6" STAIR LANDING/ FOOTING	Consultants <b>WESTBROOK</b> Associated Engineers, Inc. 619 E. Hoxie St. Spring Green Wisconsin 53588 p. 608.588.7866
	Issued for       Rev. Date         70% Submittal       04/08/24         100% Submittal       06/28/24         Bidding and Construction       07/19/24
	Project Title: Site Improvements Centennial Park Winnetka, IL
ORDINARY HIGH WATER EL. 581.50'	Prepared For: Winnetka Park District Winnetka, IL
EL. 579.33'	Graphic Scale: $ \begin{array}{c}                                     $
	Sheet No. C116



"The information shown on this drawing concerning type and location of underground utilities is not guaranteed to be accurate or all inclusive. The contractor is responsible for making his own determinations as to the type and location of underground utilities as may be necessary to avoid damage thereto."



vhat's **below** all before you d

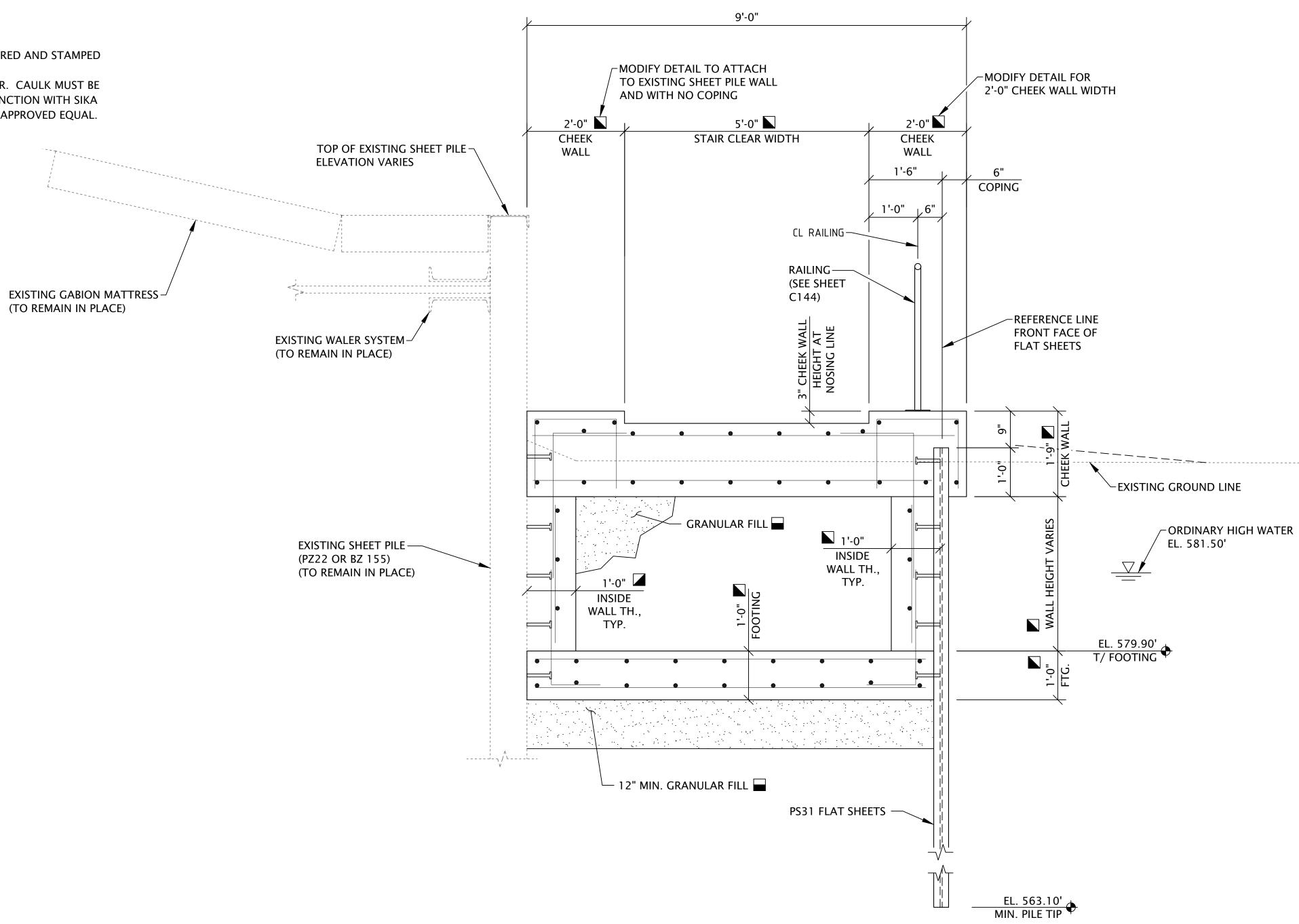
### SHORELINE IMPROVEMENT TYPICAL SECTION J-J'

	RED BARN         Design & Engineering, S.C.         Image: Construction of the state of the
	Consultants WESTBROOK Associated Engineers, Inc. 619 E. Hoxie St. Spring Green Wisconsin 53588 p. 608.588.7866
EL. 589.10' T/ CONC. DECK	100% Submittal       04/08/24         100% Submittal       06/28/24         Bidding and Construction       07/19/24
ORDINARY HIGH WATER EL. 581.50'	Project Title: Site Improvements Centennial Park Winnetka, IL
	Prepared For: Winnetka Park District Winnetka, IL Graphic Scale: $0^{"} \frac{3}{8}^{"} \frac{3}{4}^{"}$ $\frac{1}{9} \frac{1}{9} \frac{1}{9} \frac{1}{4}^{"}$ $\frac{1}{9} \frac{1}{9} \frac{1}{9} \frac{1}{4}^{"}$ $\frac{1}{9} \frac{1}{9} \frac{1}{9} \frac{1}{100} $
	Sheet No.

- SEE "GRANULAR FILL COMPACTION NOTES" ON SHEET C108 FOR MORE DETAILS.
- SEE DETAIL BULKHEAD WALL CONCRETE CAP AND SLAB DETAILS ON SHEET C109.
- SEE ANGLE SEAT DETAILS ON SHEET C110
- SEE CONTRACTION AND EXPANSION JOINT DETAILS ON SHEET C112.
- SEE STAIR DETAILS ON SHEET C113 AND C115.

### NOTES:

- SEE SHEET C-144 OVERALL SITE PLAN FOR COLORED AND STAMPED ×, 1.
- CONCRETE LOCATIONS. ALL CAULK MUST MATCH THE CONCRETE COLOR. CAULK MUST BE 2. SIKA DUOFLEX POLYSULFIDE SEALANT IN CONJUNCTION WITH SIKA DUOFLEX 5050 EPOXY PRIMER OR AN ENGINEER APPROVED EQUAL.



"The information shown on this drawing concerning type and location of underground utilities is not guaranteed to be accurate or all inclusive. The contractor is responsible for making his own determinations as to the type and location of underground utilities as may be necessary to avoid damage thereto."



Know what's **below**. Call before you dig.

### SHORELINE IMPROVEMENT TYPICAL SECTION K-K'

RED BARN         Design & Engineering, S.C.         Image: Construction of the state of the
Consultants
<b>WESTBROOK</b> Associated Engineers, Inc. 619 E. Hoxie St. Spring Green Wisconsin 53588 p. 608.588.7866
Issued for       Rev. Date         70% Submittal       04/08/24         100% Submittal       06/28/24         Bidding and Construction       07/19/24
Project Title:
Site Improvements Centennial Park Winnetka, IL
Prepared For:
Winnetka Park District Winnetka, IL
Graphic Scale: $ \begin{array}{c} 0^{"} & \frac{3}{8}^{"} & \frac{3}{4}^{"} \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ \end{array} $ (In Feet) $ \begin{array}{c} 3}{4}^{"} \text{ Inch} = 1 \text{ Ft.} \end{array} $
Scale: 3/4" Inch = 1 Ft. Drawing Title SHORELINE IMPROVEMENTS SECTIONS AND DETAILS SECTION K-K'
Sheet No. C118

- SEE "GRANULAR FILL COMPACTION NOTES" ON SHEET C108 FOR MORE DETAILS.
- SEE DETAIL BULKHEAD WALL CONCRETE CAP AND SLAB DETAILS ON SHEET C109.
- SEE ANGLE SEAT DETAILS ON SHEET C110
- SEE CONTRACTION AND EXPANSION JOINT DETAILS ON SHEET C112.
- SEE STAIR DETAILS ON SHEET C113 AND C115.

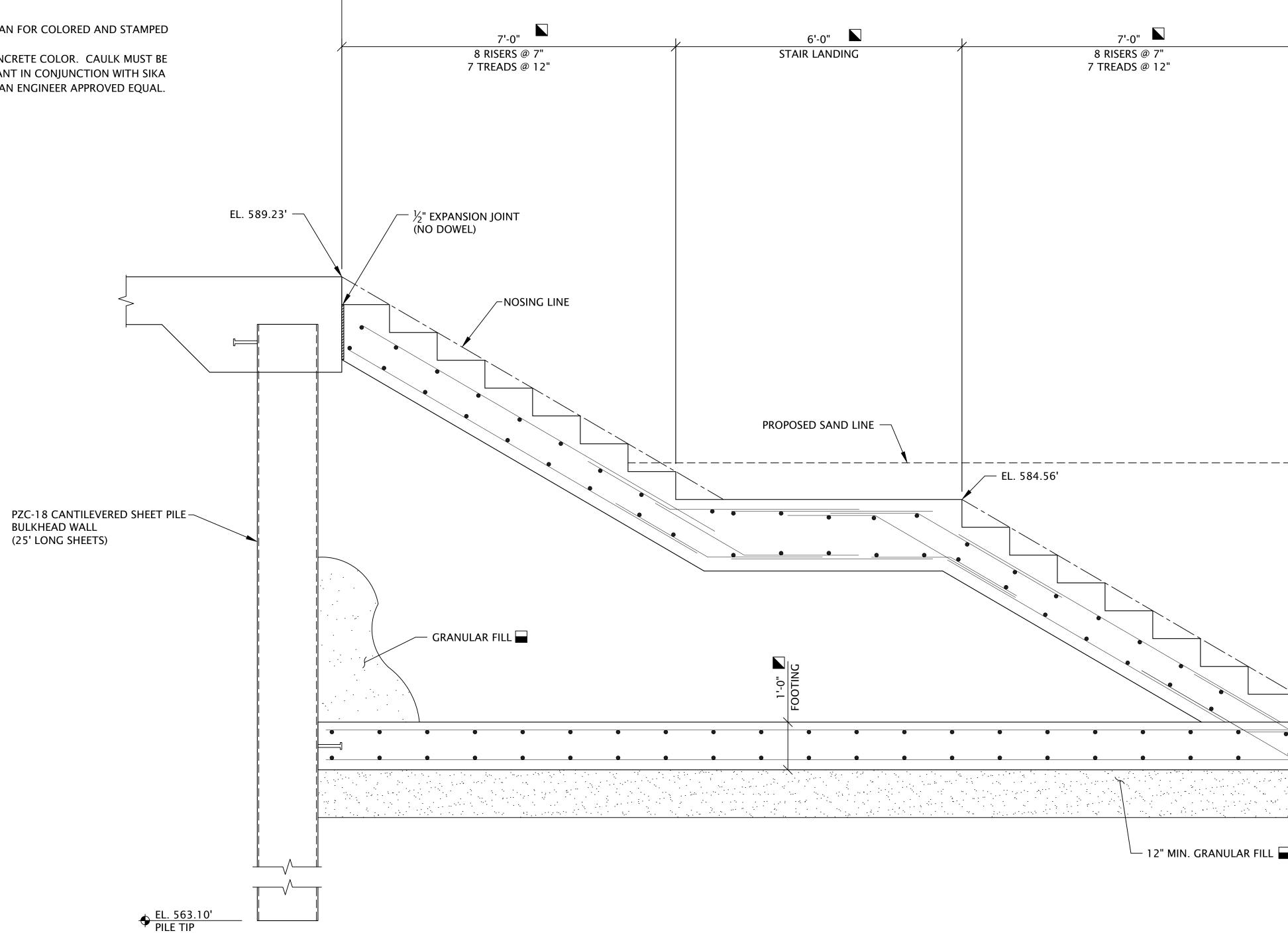
### NOTES:

1. SEE SHEET C-144 OVERALL SITE PLAN FOR COLORED AND STAMPED CONCRETE LOCATIONS.

BOARDWALK

--

2. ALL CAULK MUST MATCH THE CONCRETE COLOR. CAULK MUST BE SIKA DUOFLEX POLYSULFIDE SEALANT IN CONJUNCTION WITH SIKA DUOFLEX 5050 EPOXY PRIMER OR AN ENGINEER APPROVED EQUAL.



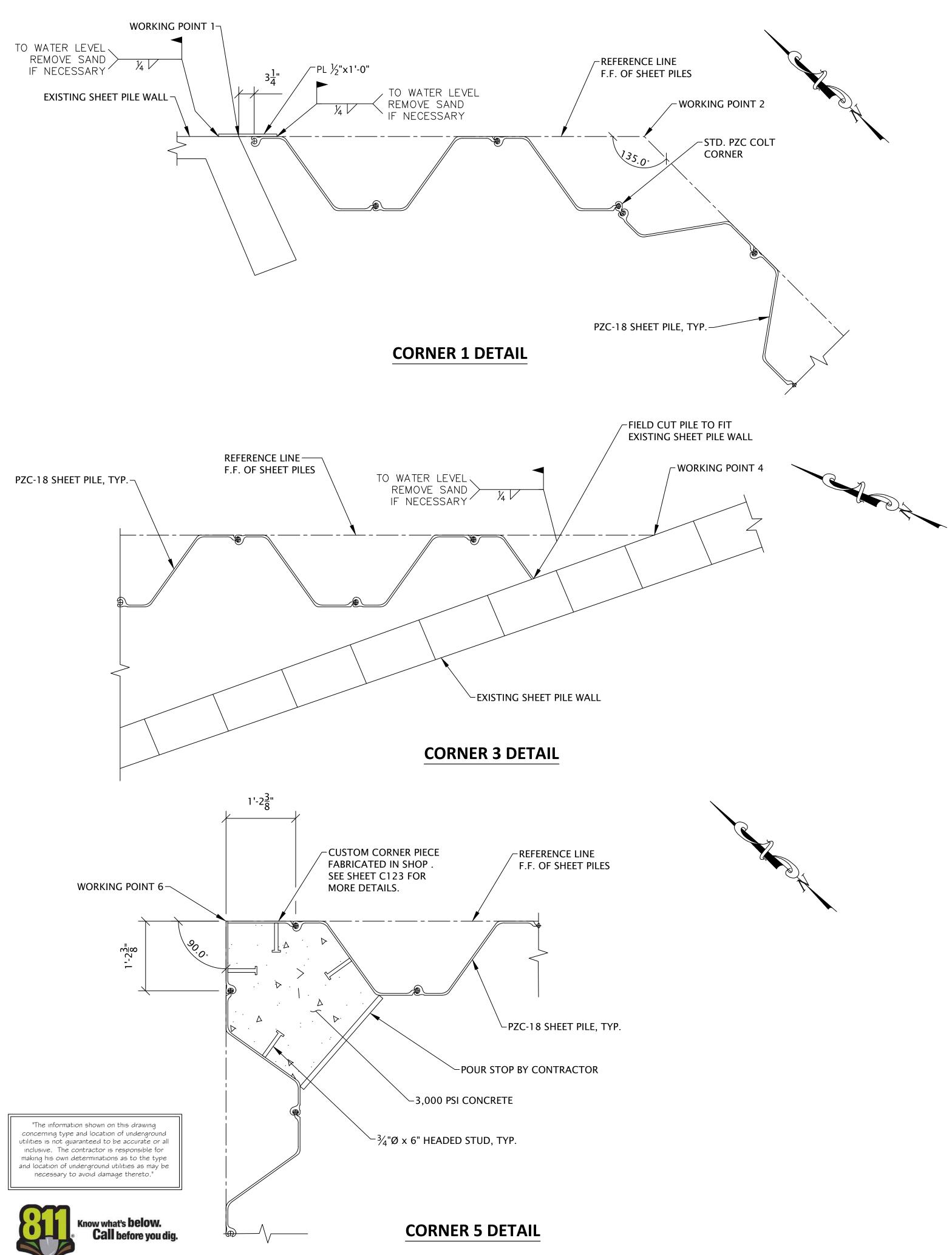
"The information shown on this drawing concerning type and location of underground utilities is not guaranteed to be accurate or all inclusive. The contractor is responsible for making his own determinations as to the type and location of underground utilities as may be necessary to avoid damage thereto."

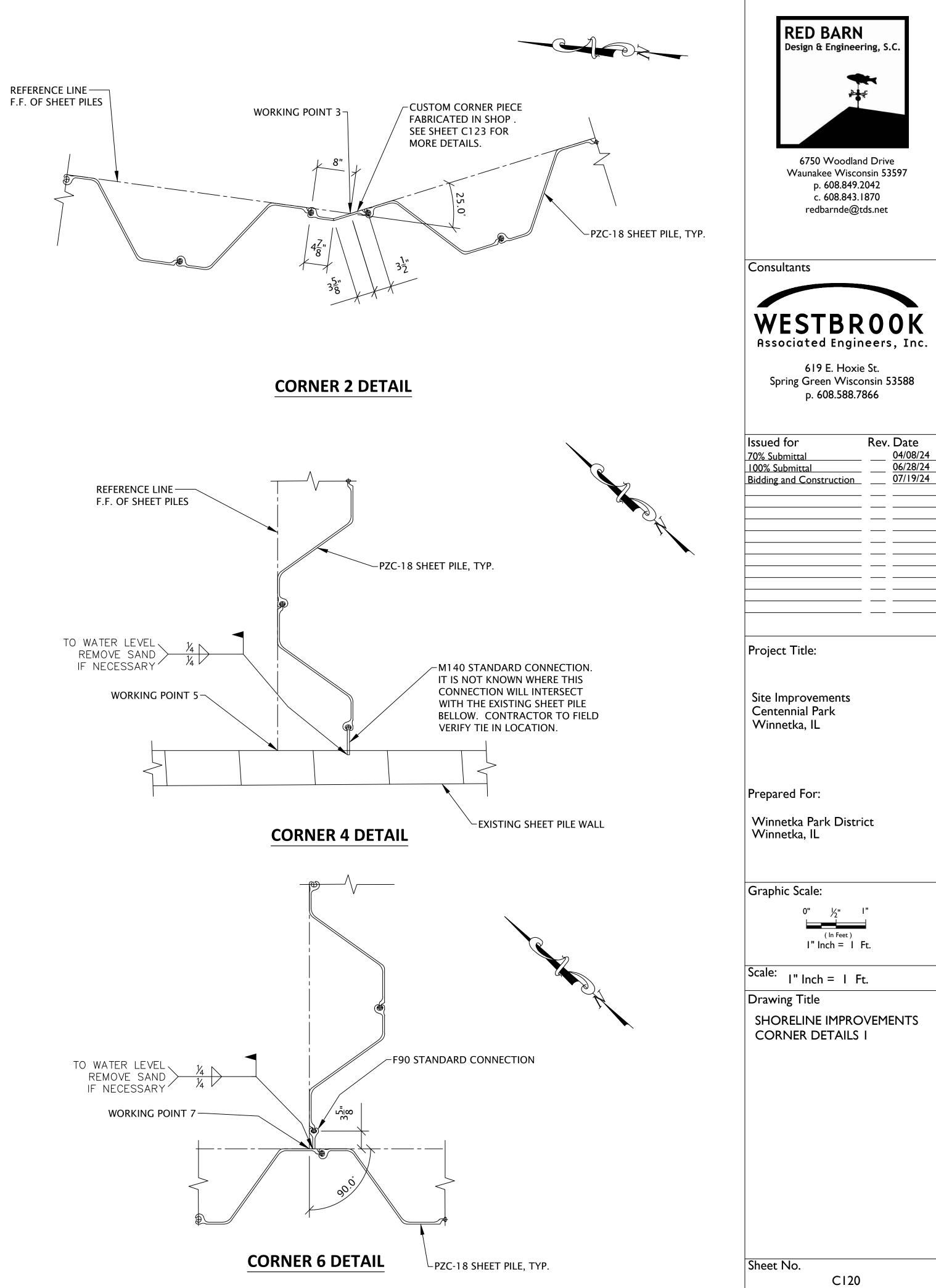


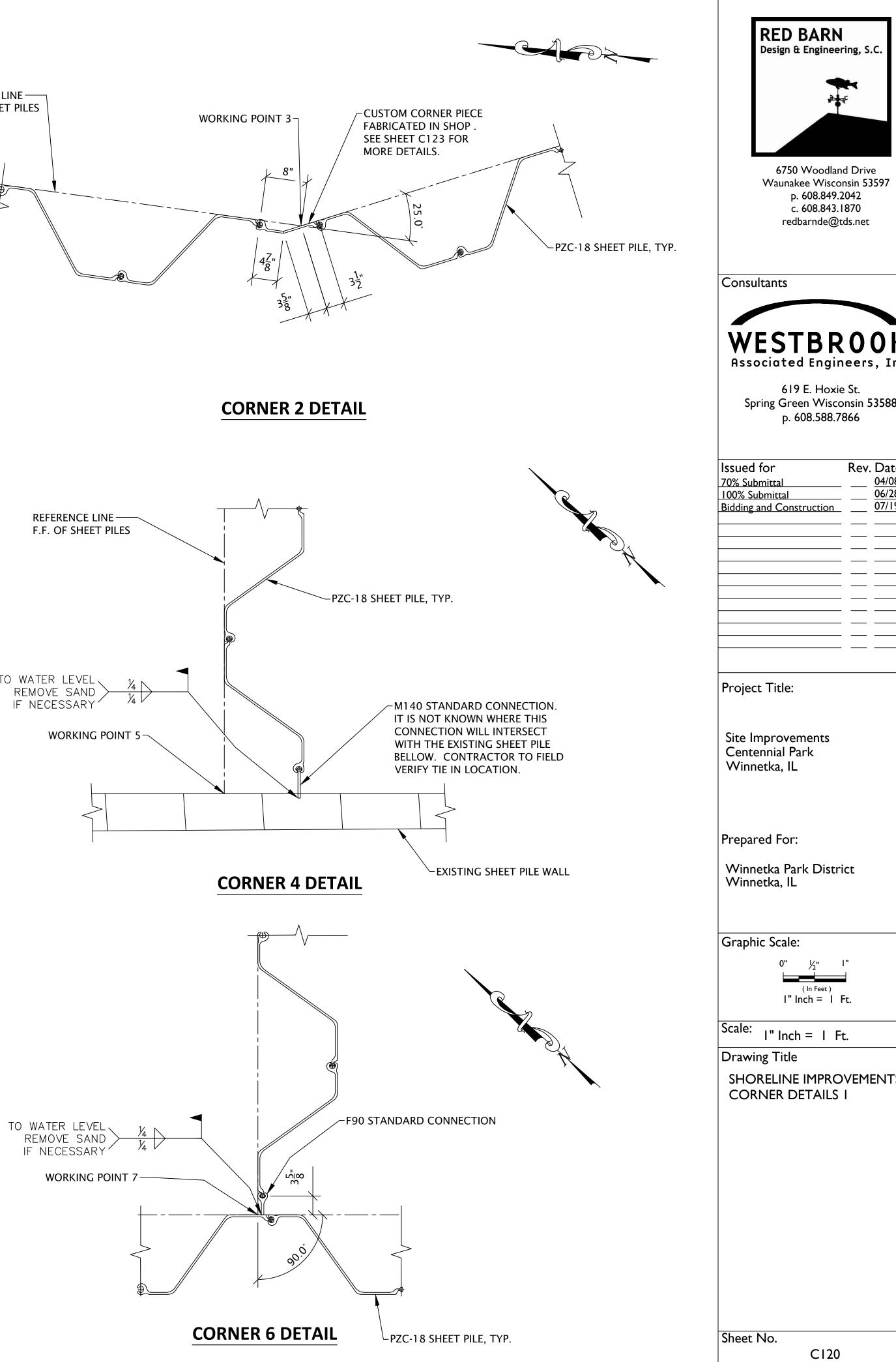
### SHORELINE IMPROVEMENT TYPICAL SECTION L-L'

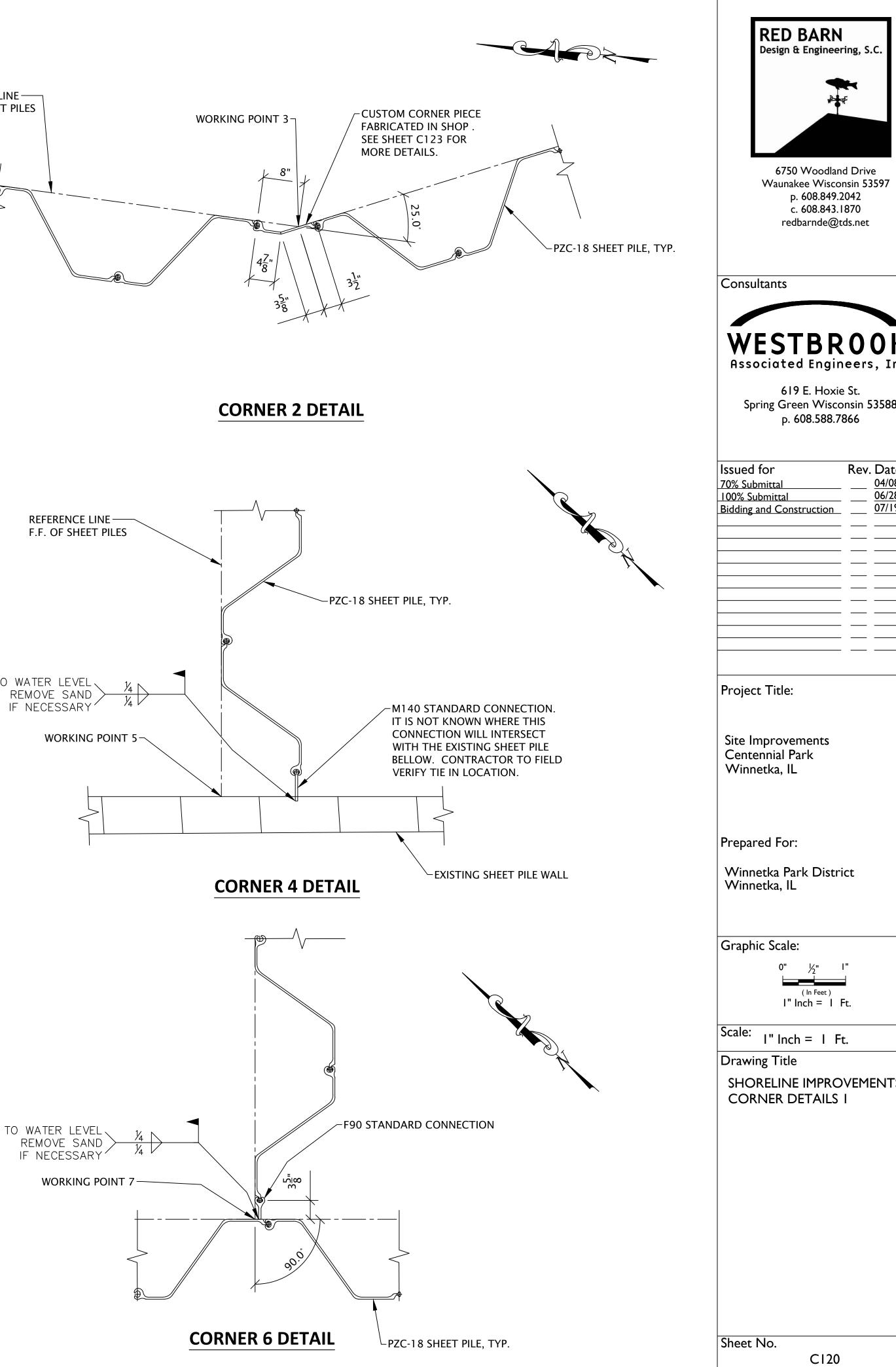
24'-0"

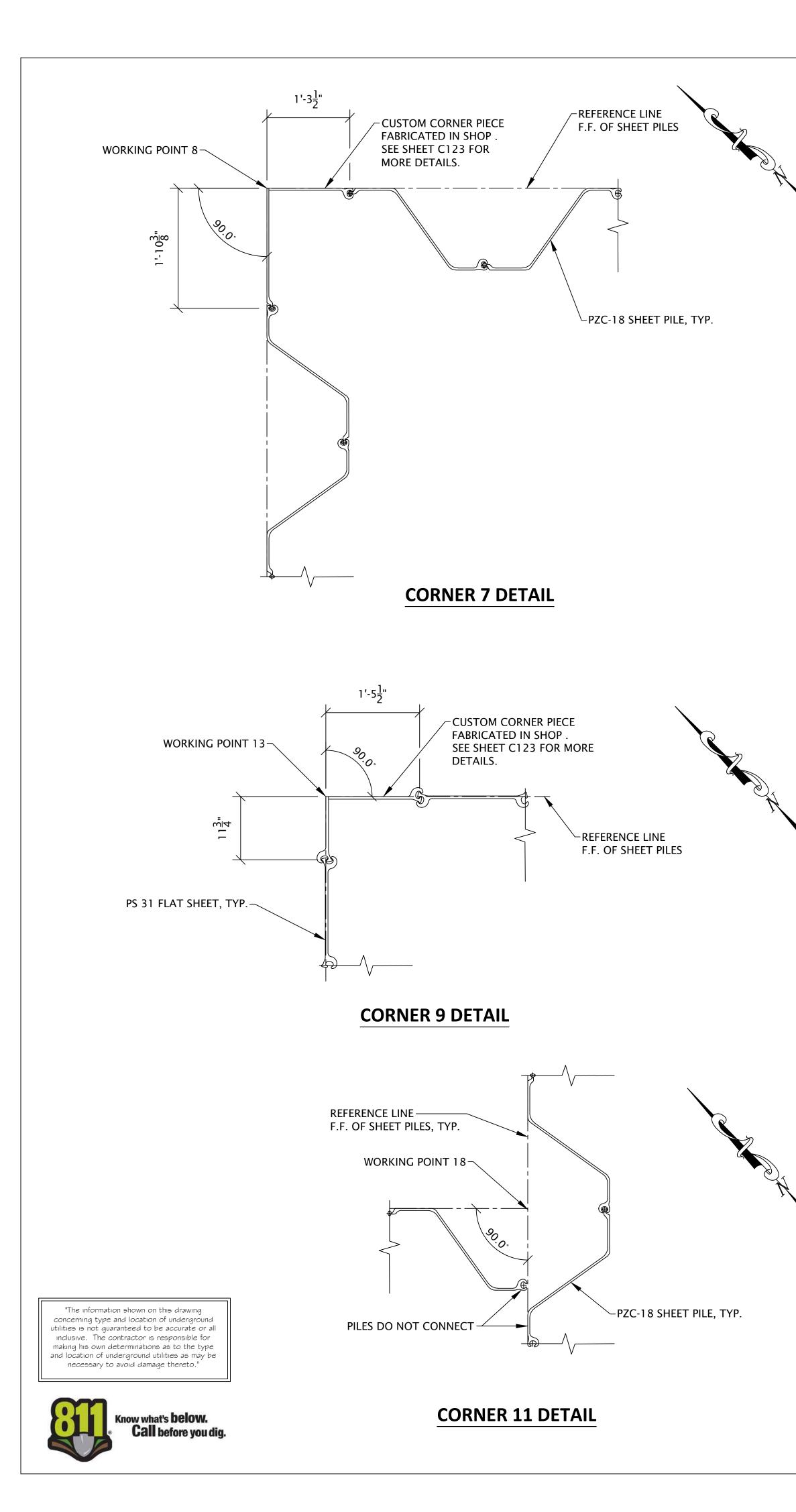
	RED BARN         Design & Engineering, S.C.         Image: Construction of the series o
4'-0" <b>\</b>	Consultants
STAIR LANDING/	
FOOTING	WESTBROOK Associated Engineers, Inc.
	619 E. Hoxie St. Spring Green Wisconsin 53588 p. 608.588.7866
	Issued forRev. Date70% Submittal04/08/24100% Submittal06/28/24Bidding and Construction07/19/24
	Project Title:
	Site Improvements Centennial Park Winnetka, IL
ORDINARY HIGH WATER EL. 581.50'	Prepared For: Winnetka Park District Winnetka, IL
EL. 579.90'	Graphic Scale: $ \begin{array}{c} 0^{"} & \frac{3}{8}^{"} & \frac{3}{4}^{"} \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & & $
	Scale: 3/4" Inch = 1 Ft. Drawing Title SHORELINE IMPROVEMENTS SECTIONS AND DETAILS SECTION L-L'
EL. 563.10' MIN. PILE TIP	
	Sheet No. CII9

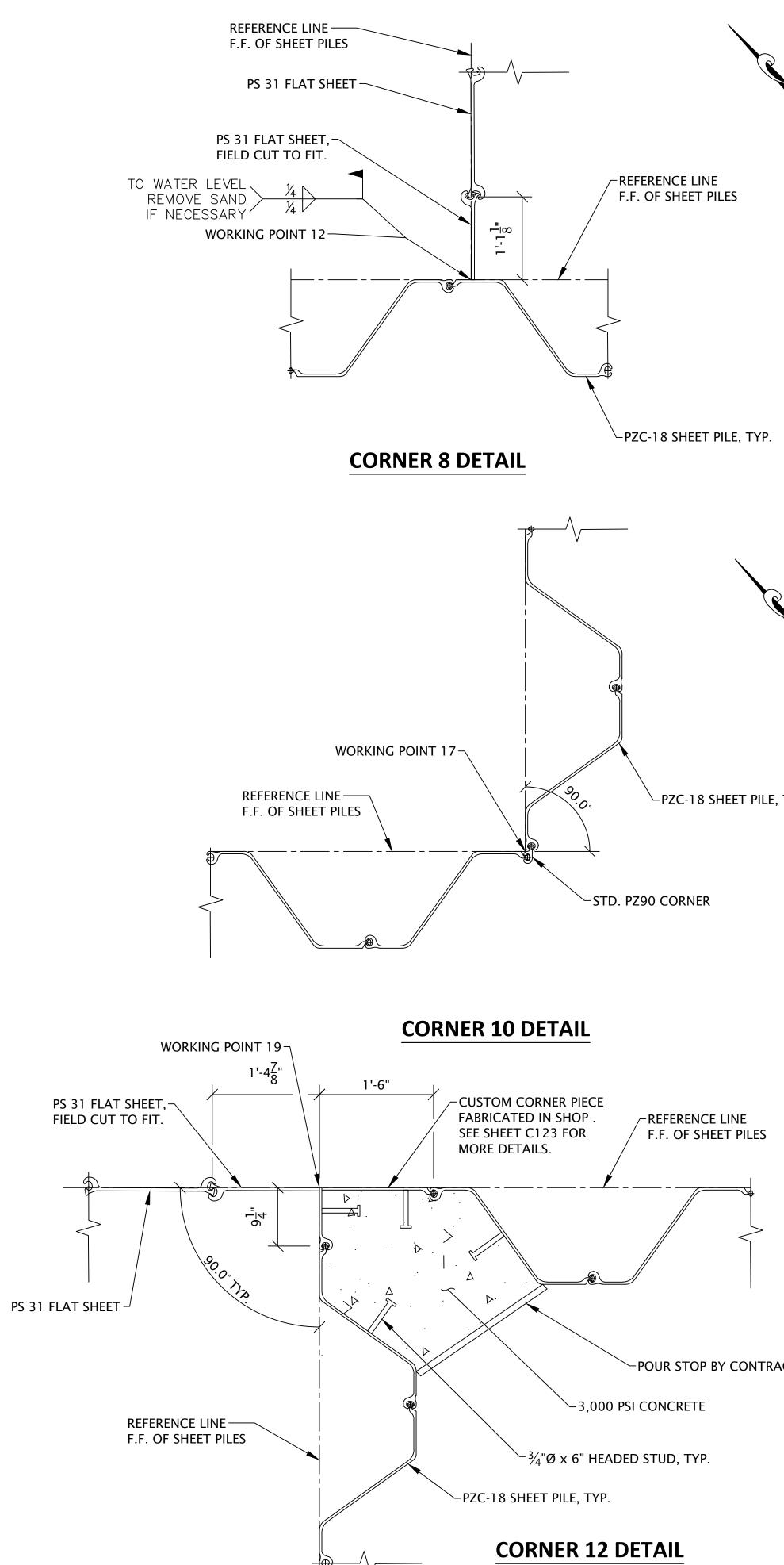






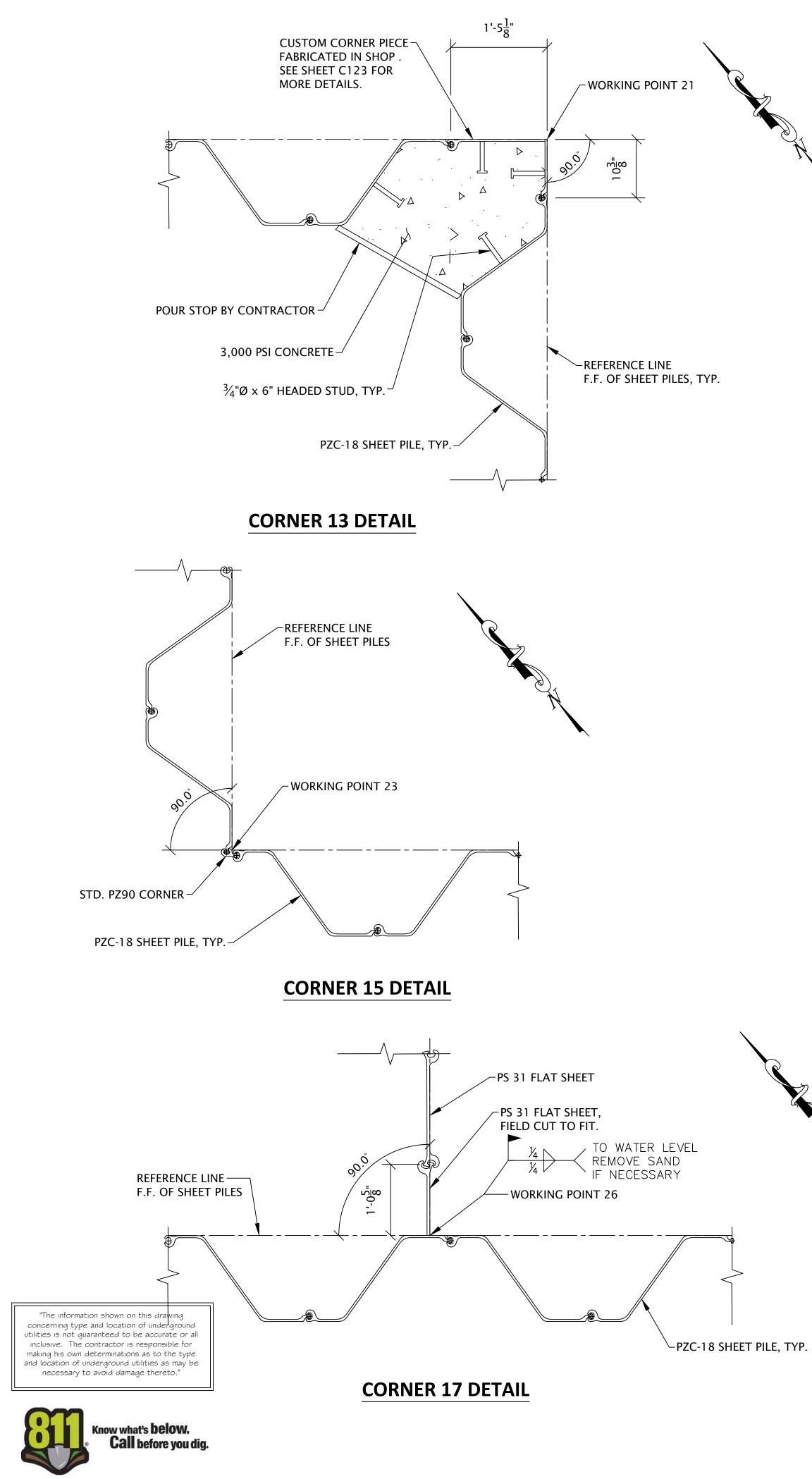


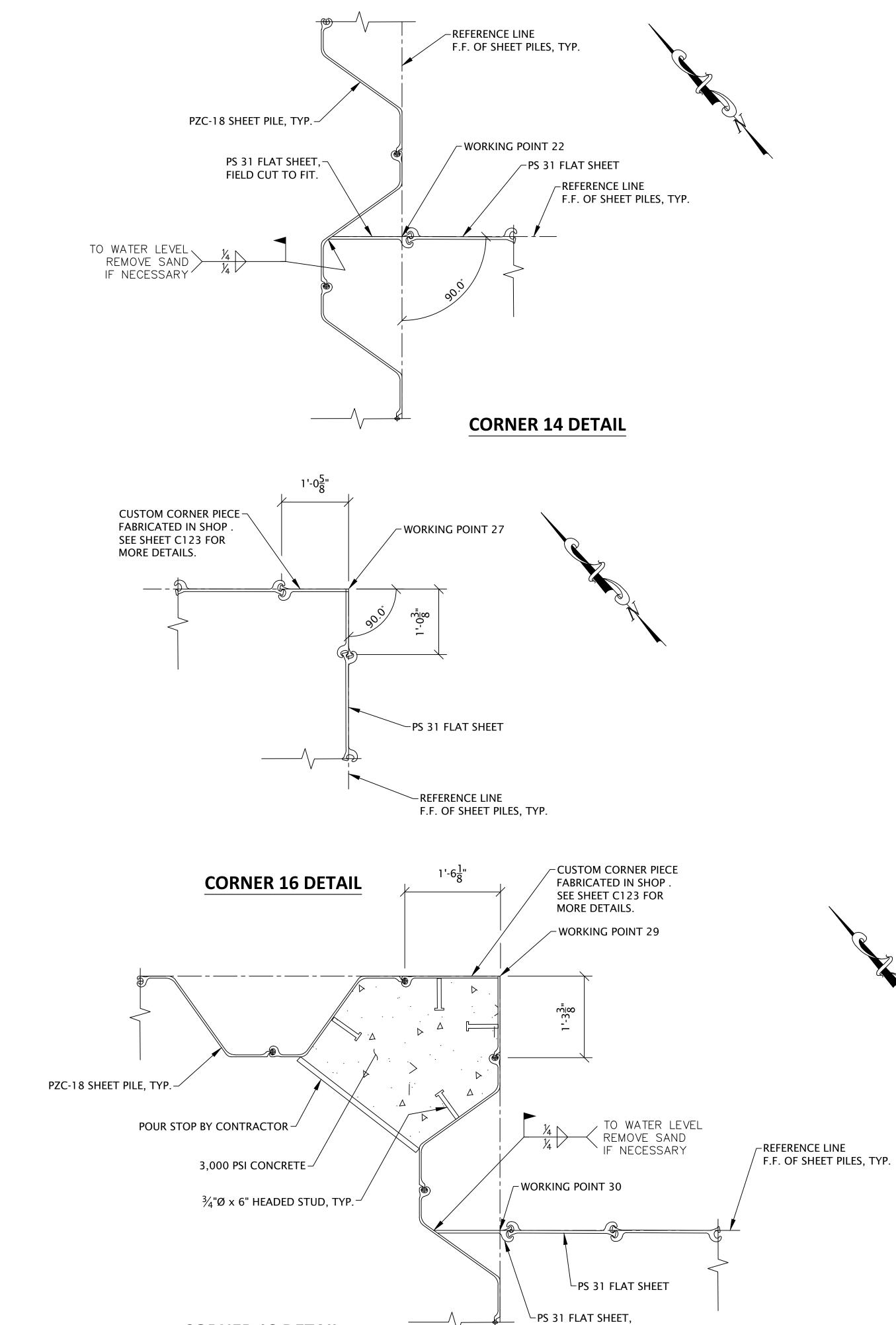




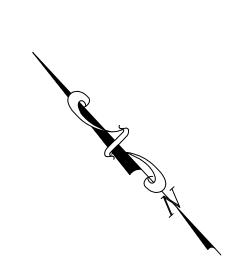
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Real Provide Article A		
Е, ТҮР.		
RACTOR		

RED BARN Design & Engineering, S.C.
<del>18 €</del>
6750 Woodland Drive Waunakee Wisconsin 53597 p. 608.849.2042 c. 608.843.1870 redbarnde@tds.net
Consultants
WESTBROOK Associated Engineers, Inc. 619 E. Hoxie St. Spring Green Wisconsin 53588 p. 608.588.7866
p
ssued for Rev. Date 70% Submittal 06/28/24 06/28/24 06/28/24 07/19/24 
Project Title:
Site Improvements Centennial Park Winnetka, IL
Prepared For:
Winnetka Park District Winnetka, IL
Graphic Scale: 0" ½" I" (In Feet )
l" Inch = l Ft.
Scale: I" Inch = I Ft. Drawing Title SHORELINE IMPROVEMENTS CORNER DETAILS 2
Sheet No. C121





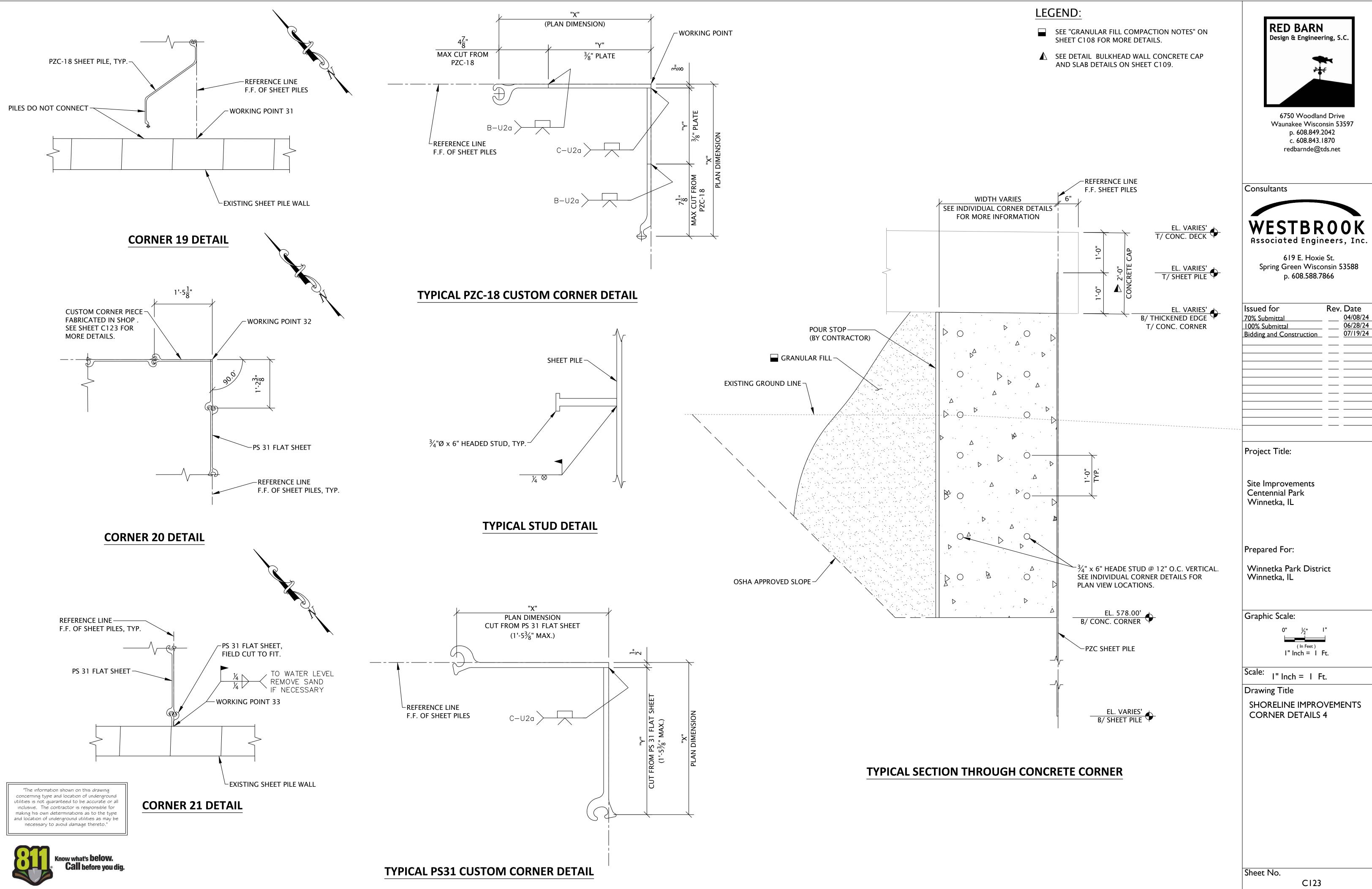
**CORNER 18 DETAIL** 

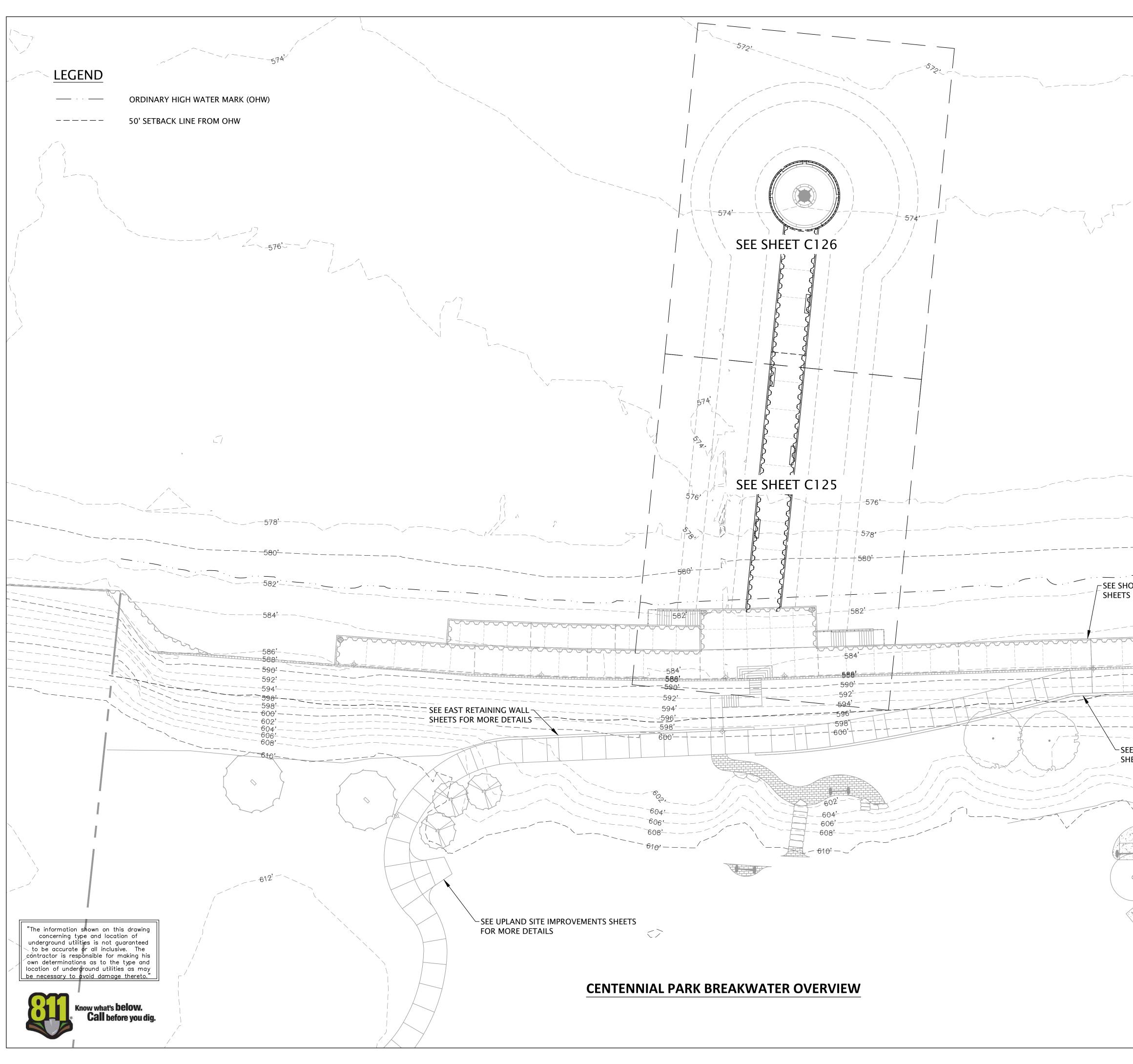


FIELD CUT TO FIT.

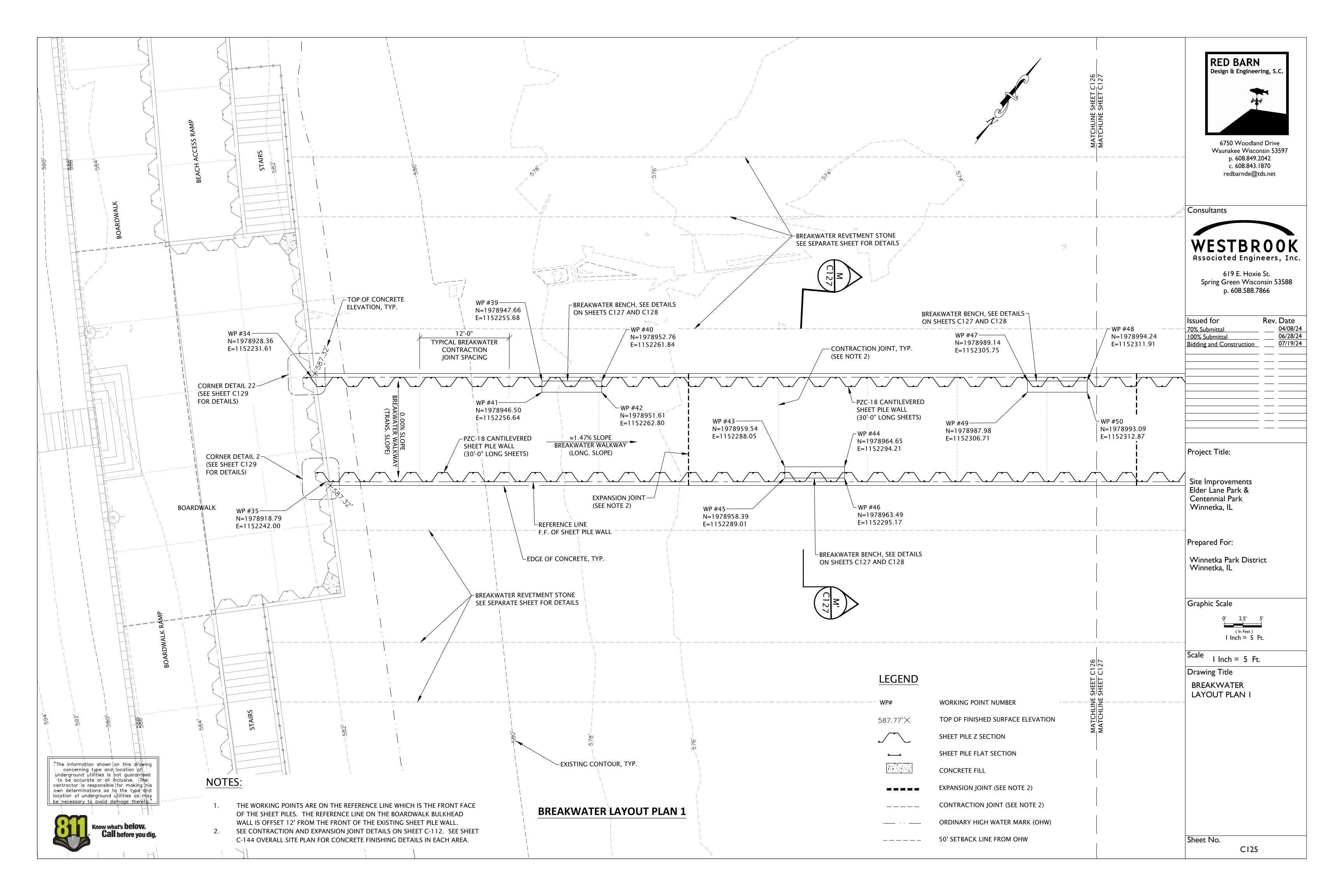
RED BARN   Design & Engineering, S.C.   Image: Construction of the state of
Consultants
<b>WESTBROOK</b> Associated Engineers, Inc. 619 E. Hoxie St. Spring Green Wisconsin 53588 p. 608.588.7866
Issued for 70% SubmittalRev. Date 04/08/24100% Submittal06/28/24Bidding and Construction07/19/24
Project Title: Site Improvements
Centennial Park Winnetka, IL
Prepared For:
Winnetka Park District Winnetka, IL
Graphic Scale: $0" \frac{1}{2}" I"$ (In Feet) I" Inch = I Ft. Scale:
Scale. I" Inch = 1 Ft. Drawing Title SHORELINE IMPROVEMENTS CORNER DETAILS 3

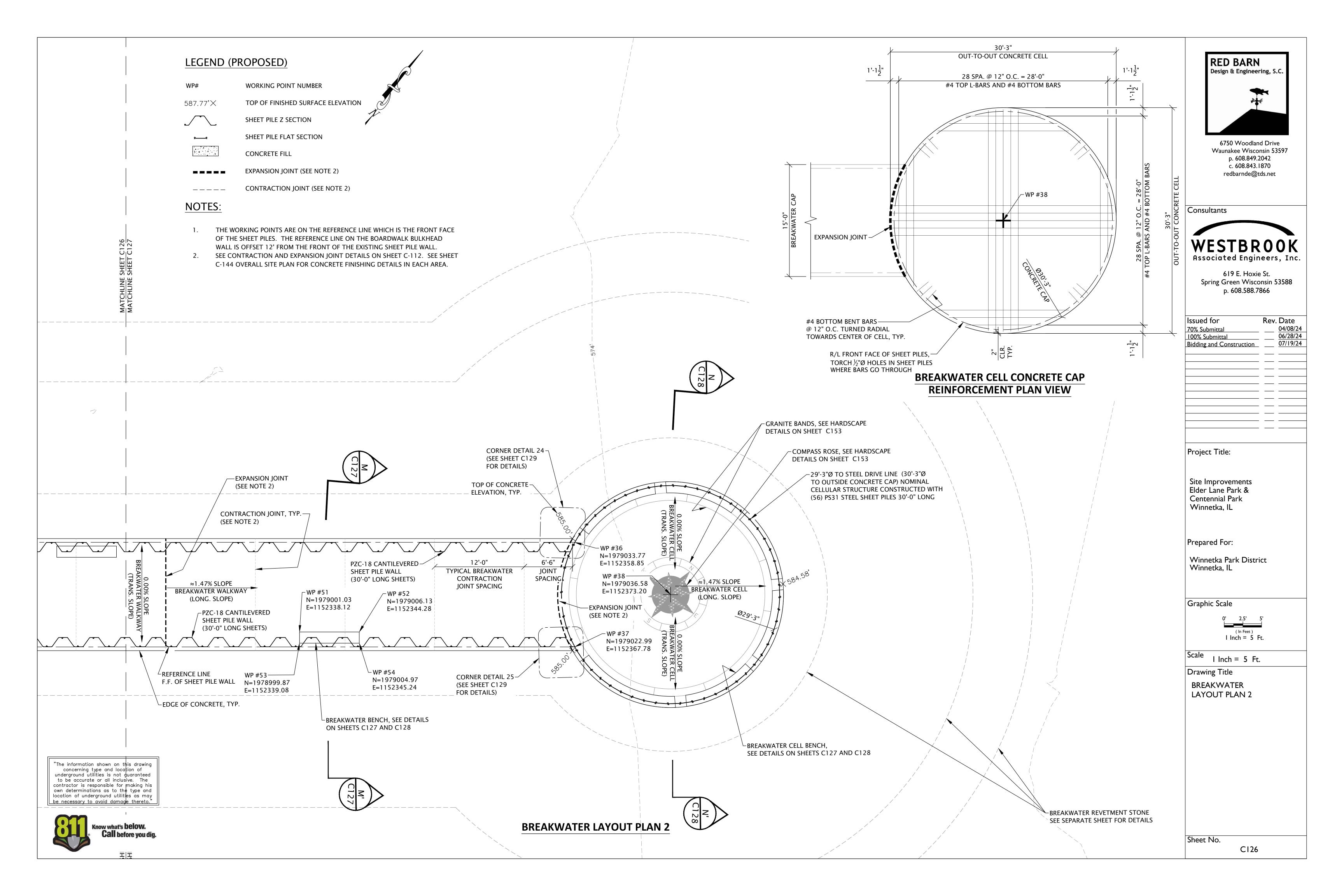
Sheet No.

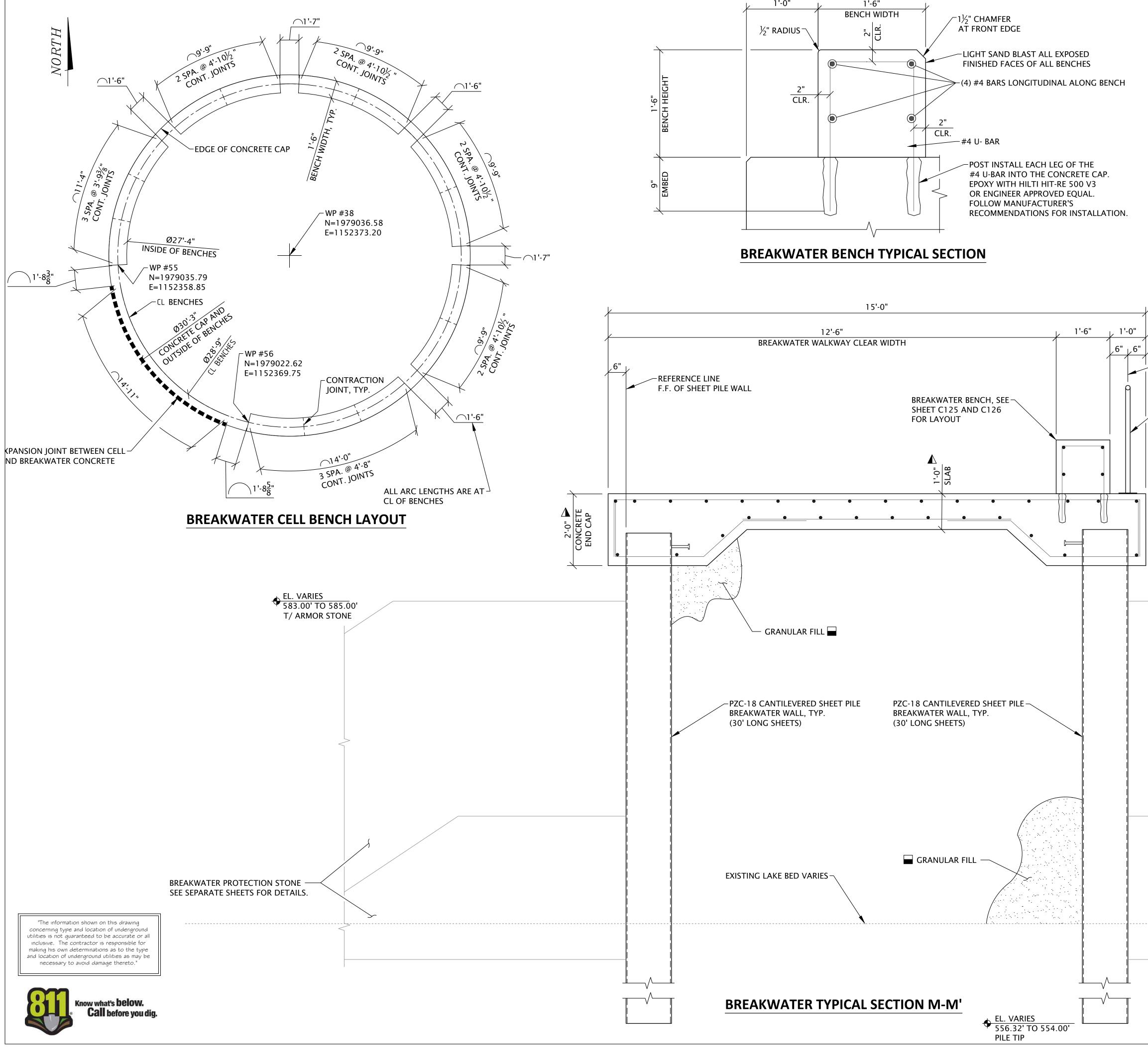


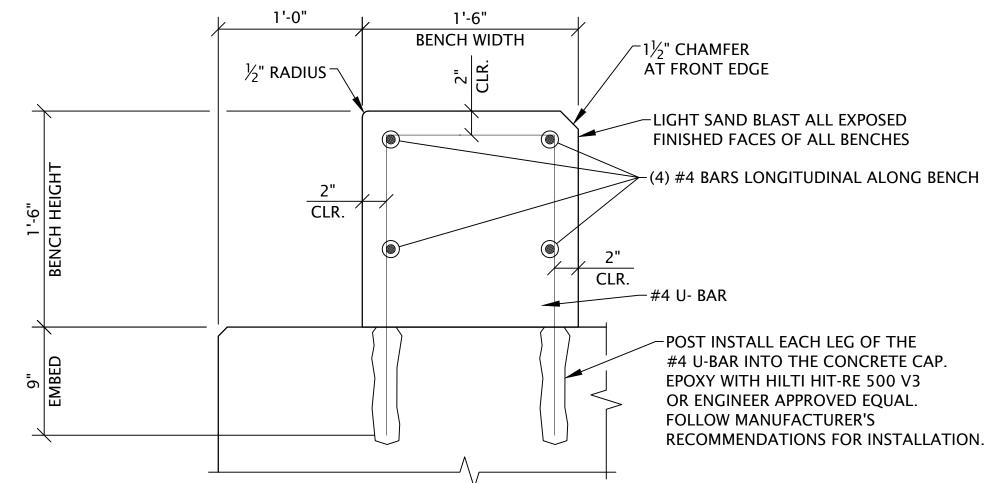


572		RED BARN Design & Engineering, S.C.
		6750 Woodland Drive Waunakee Wisconsin 53597 p. 608.849.2042 c. 608.843.1870 redbarnde@tds.net
		<b>WESTBROOK</b> Associated Engineers, Inc. 619 E. Hoxie St. Spring Green Wisconsin 53588 p. 608.588.7866
	576'	Issued forRev. Date70% Submittal04/08/24100% Submittal06/28/24Bidding and Construction07/19/24
DRELINE IMPROVEMENTS	- 578'	Project Title: Site Improvements Centennial Park
FOR MORE DETAILS		Winnetka, IL Prepared For: Winnetka Park District Winnetka, IL
E WEST RETAINING WALL EETS FOR MORE DETAILS	-596' -598' -600' -602' -604' -606' -608'	Graphic Scale 0'  10'  20' (In Feet) I Inch = 20 Ft. Scale I Inch = 20 Ft.
		Drawing Title BREAKWATER PLAN OVERVIEW
	640	Sheet No.
		C124









-REFERENCE LINE

AND CL RAILING

2'-0" DNCRETE ND CAP

 $\nabla \not$ 

 $\mathbb{E}\left| \hat{\mathcal{O}} \right|$ 

F.F. OF SHEET PILE WALL

RAILING (SEE SHEET C144)

EL. VARIES 587.32' TO 585.00' •

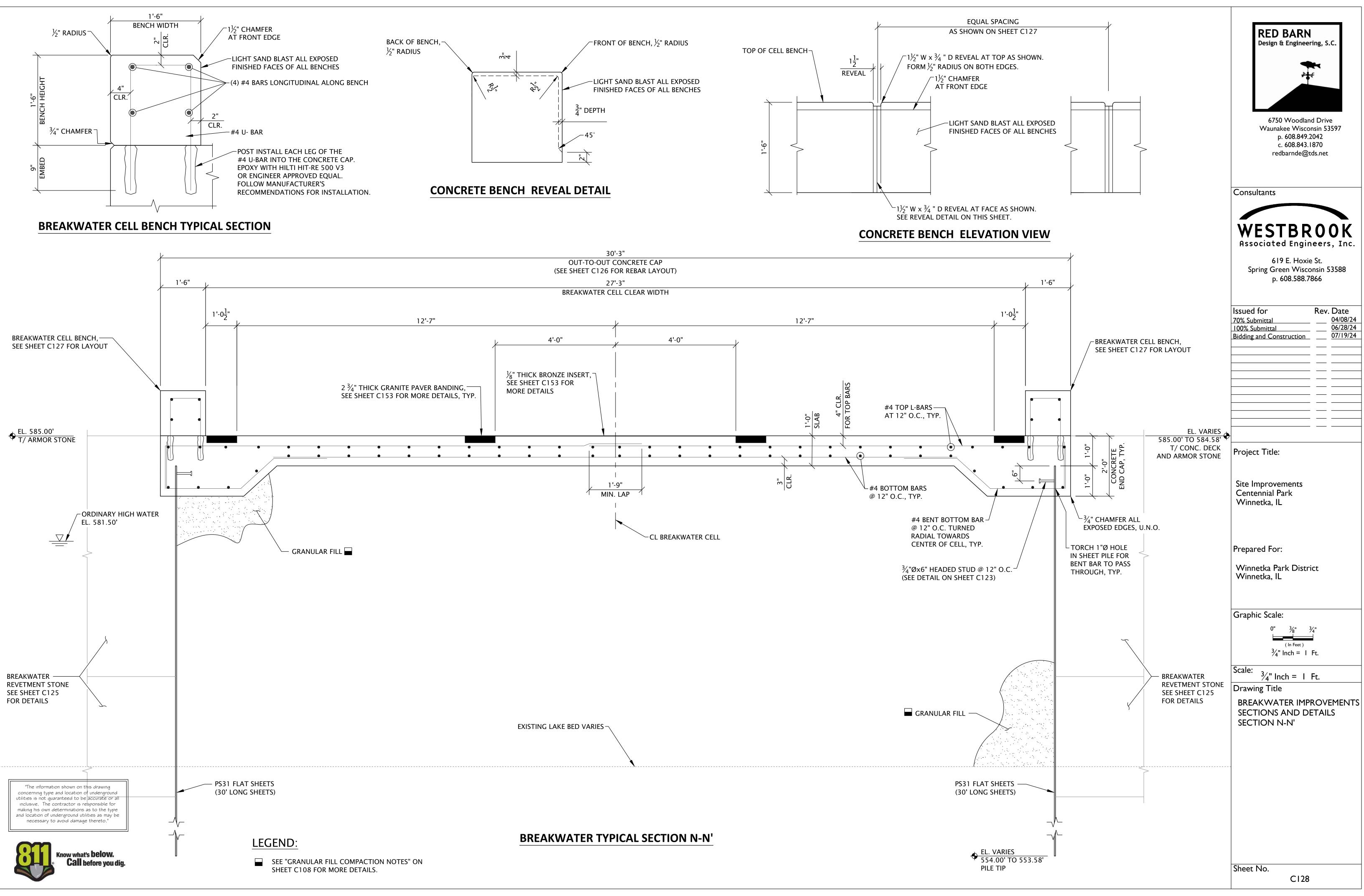
T/ CONC. DECK

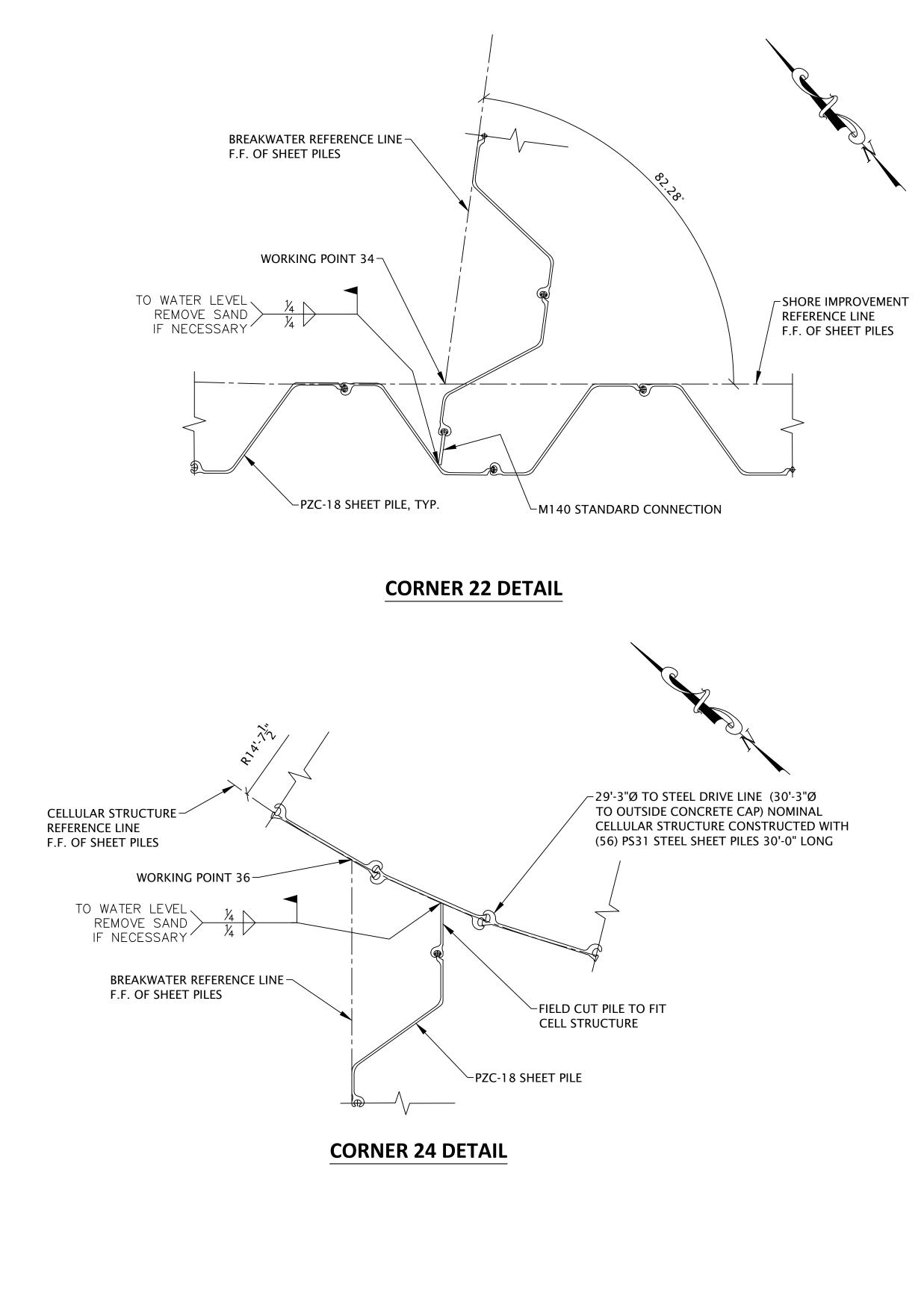
- ORDINARY HIGH WATER

EL. 581.50'

- SEE "GRANULAR FILL COMPACTION NOTES" ON SHEET C108 FOR MORE DETAILS.
- SEE DETAIL BULKHEAD WALL CONCRETE CAP AND SLAB DETAILS ON SHEET C109.

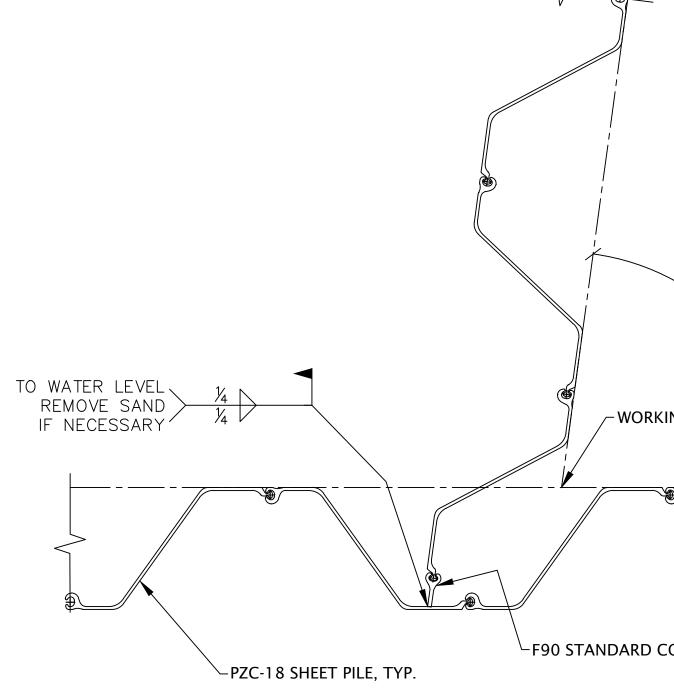
	<b>RED BARN</b> Design & Engineering, S.C.
	6750 Woodland Drive Waunakee Wisconsin 53597 p. 608.849.2042 c. 608.843.1870 redbarnde@tds.net
_	Consultants
	<b>WESTBROOK</b> Associated Engineers, Inc. 619 E. Hoxie St. Spring Green Wisconsin 53588 p. 608.588.7866
	Issued for 70% SubmittalRev. Date 04/08/24100% Submittal06/28/24Bidding and Construction07/19/24
	Project Title: Site Improvements Centennial Park Winnetka, IL
	Prepared For: Winnetka Park District Winnetka, IL
	Graphic Scale: $ \begin{array}{c} 0^{"} & \frac{3}{8}^{"} & \frac{3}{4}^{"} \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & & $
	Scale: 3/4" Inch = 1 Ft. Drawing Title BREAKWATER IMPROVEMENTS SECTIONS AND DETAILS SECTION M-M'
	Sheet No. C127



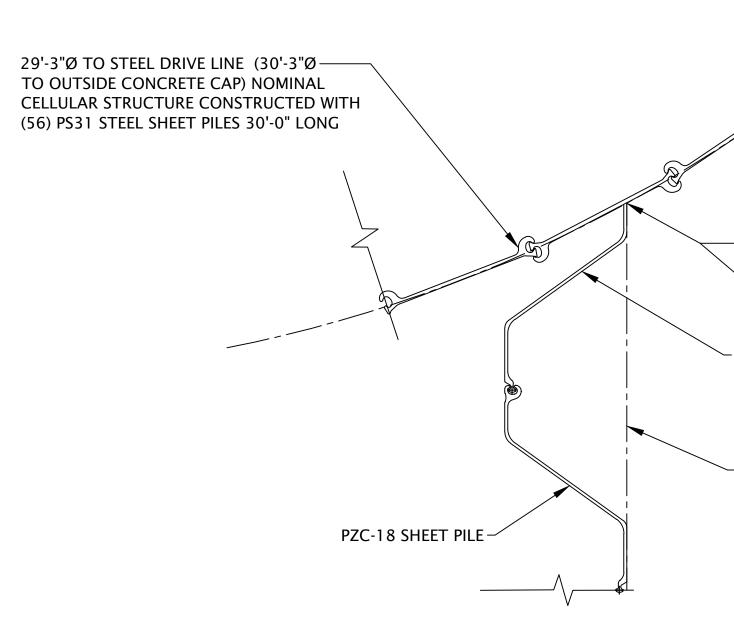


"The information shown on this drawing "The information shown on this drawing concerning type and location of underground utilities is not guaranteed to be accurate or all inclusive. The contractor is responsible for making his own determinations as to the type and location of underground utilities as may be necessary to avoid damage thereto."





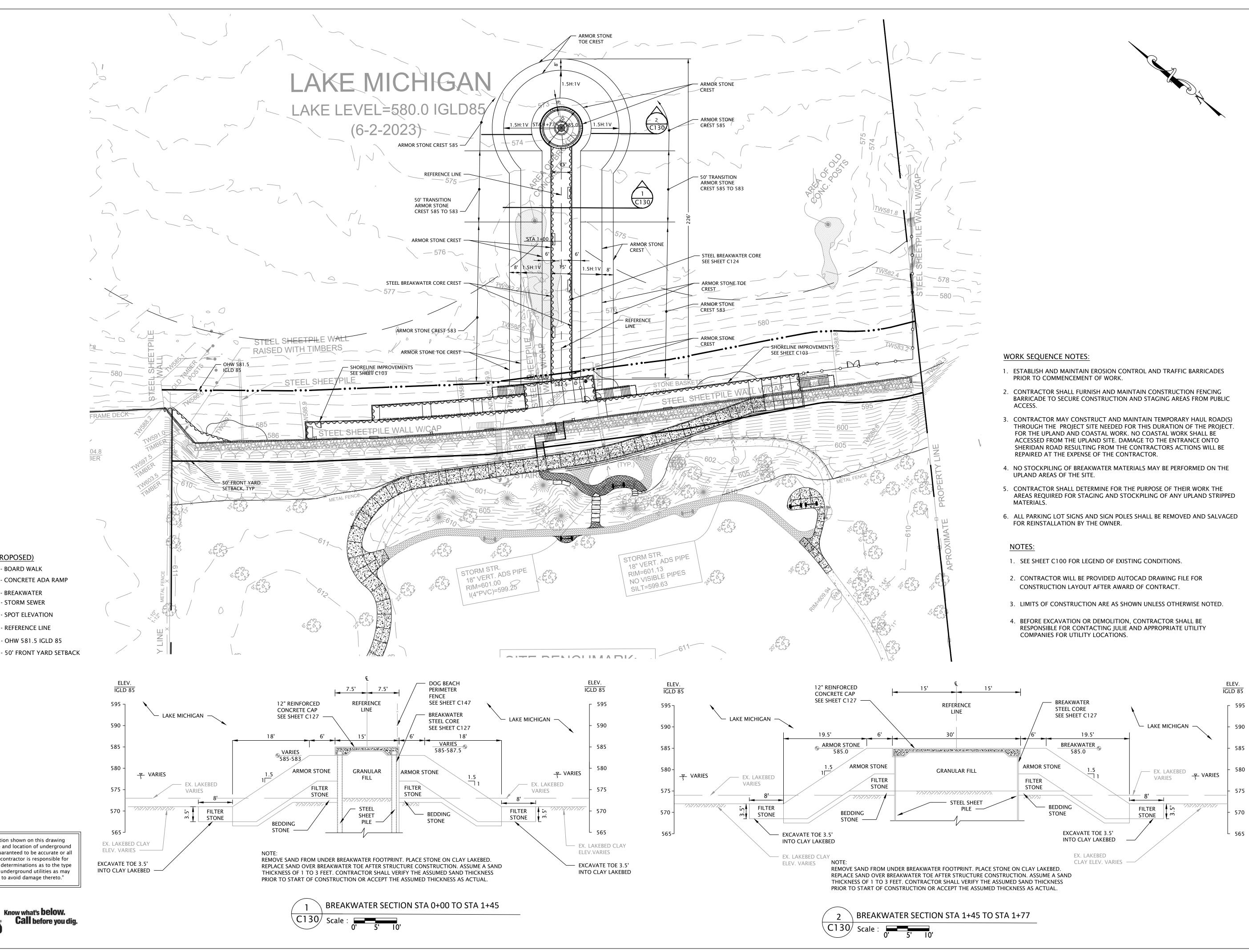
**CORNER 23 DETAIL** 

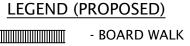


### **CORNER 25 DETAIL**

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1/4     TO WATER LEVEL       1/4     REMOVE SAND       1/4     IF NECESSARY	
WORKING POINT 37	Pr V
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BREAKWATER REFERENCE LINE F.F. OF SHEET PILES	G
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RED BARN Design & Engineering, S.C.
R R R R R R R R R R R R R R R R R R R
6750 Woodland Drive Waunakee Wisconsin 53597 p. 608.849.2042 c. 608.843.1870 redbarnde@tds.net
onsultants
WESTBROOK Associated Engineers, Inc.
619 E. Hoxie St. Spring Green Wisconsin 53588 p. 608.588.7866
Sued forRev. Date% Submittal04/08/240% Submittal06/28/24Iding and Construction07/19/24Iding and ConstructionIding and Construction
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Vinnetka Park District
Vinnetka, IL
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ale: I" Inch = I Ft.
rawing Title BREAKWATER CORNER DETAILS
eet No. C129





BREAKWATER

- STORM SEWER

- SPOT ELEVATION

- REFERENCE LINE

\_\_\_\_\_

X 585

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"The information shown on this drawing concerning type and location of underground utilities is not guaranteed to be accurate or all inclusive. The contractor is responsible for making his own determinations as to the type and location of underground utilities as may be necessary to avoid damage thereto."

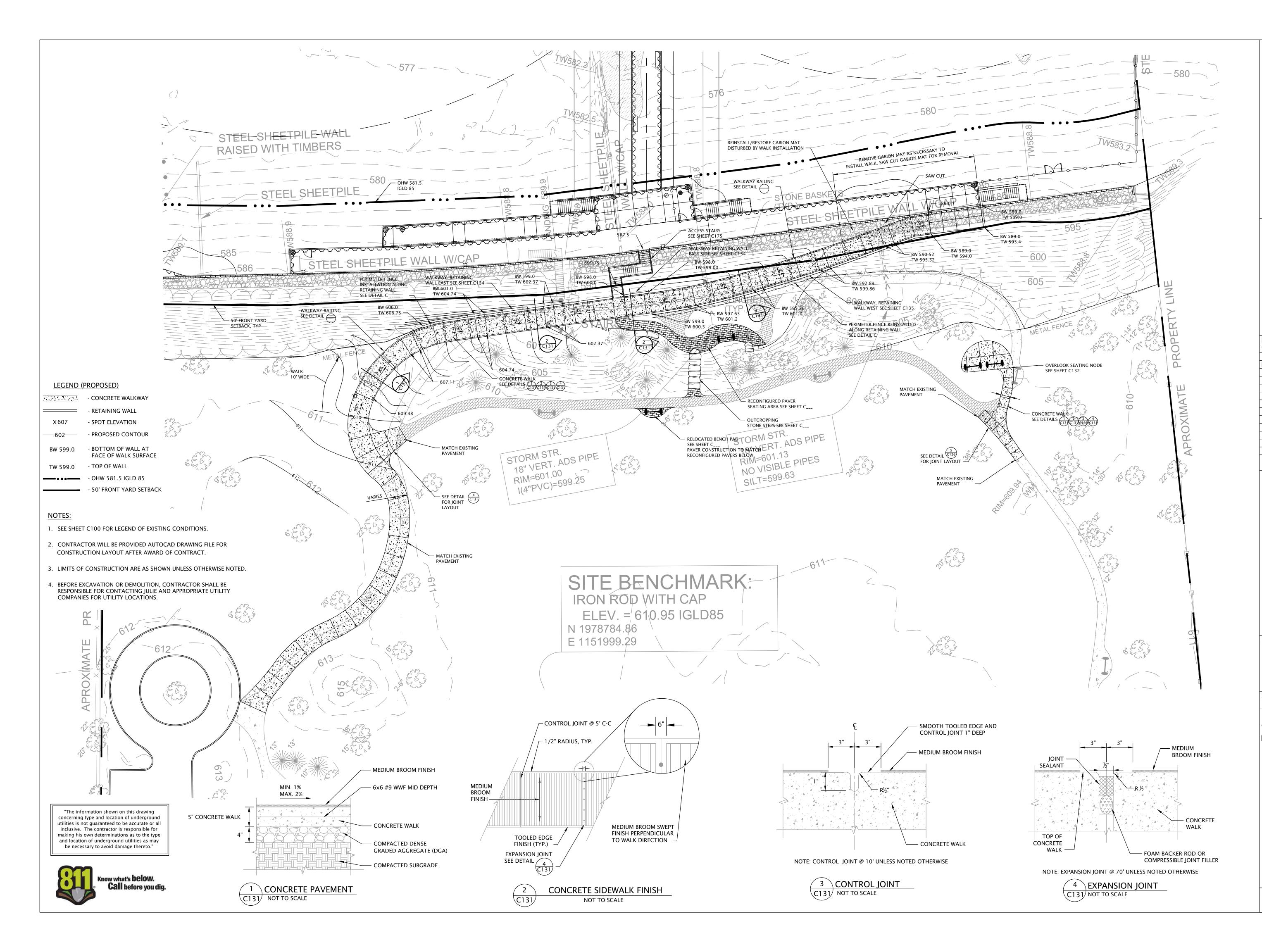


now what's **below Call** before you dig

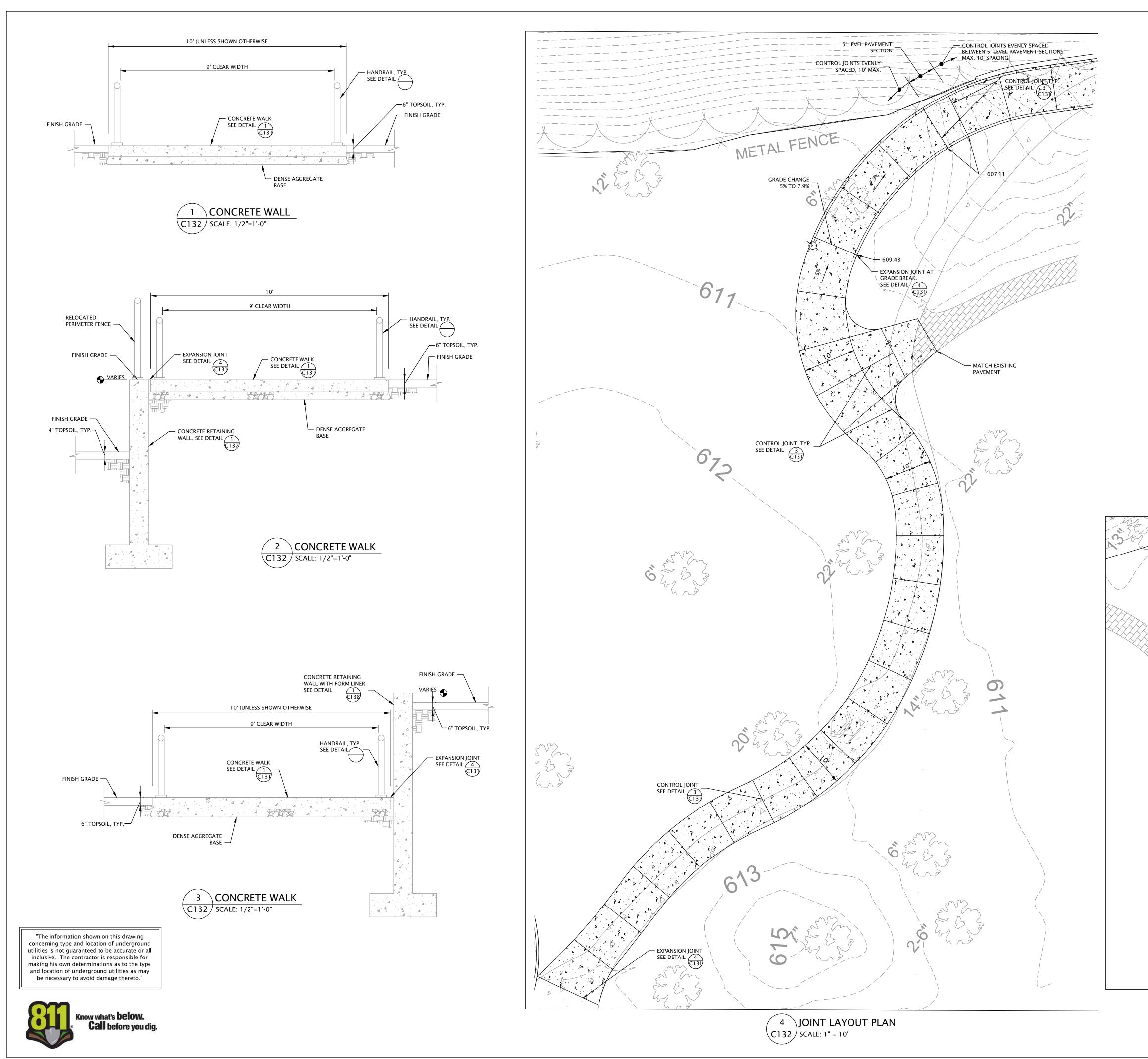
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	RED BAR Design & Engine		.c.	
	6750 Woodland Drive Waunakee Wisconsin 53597 p. 608.849.2042 c. 608.843.1870 redbarnde@tds.net			
Consu	lltants			
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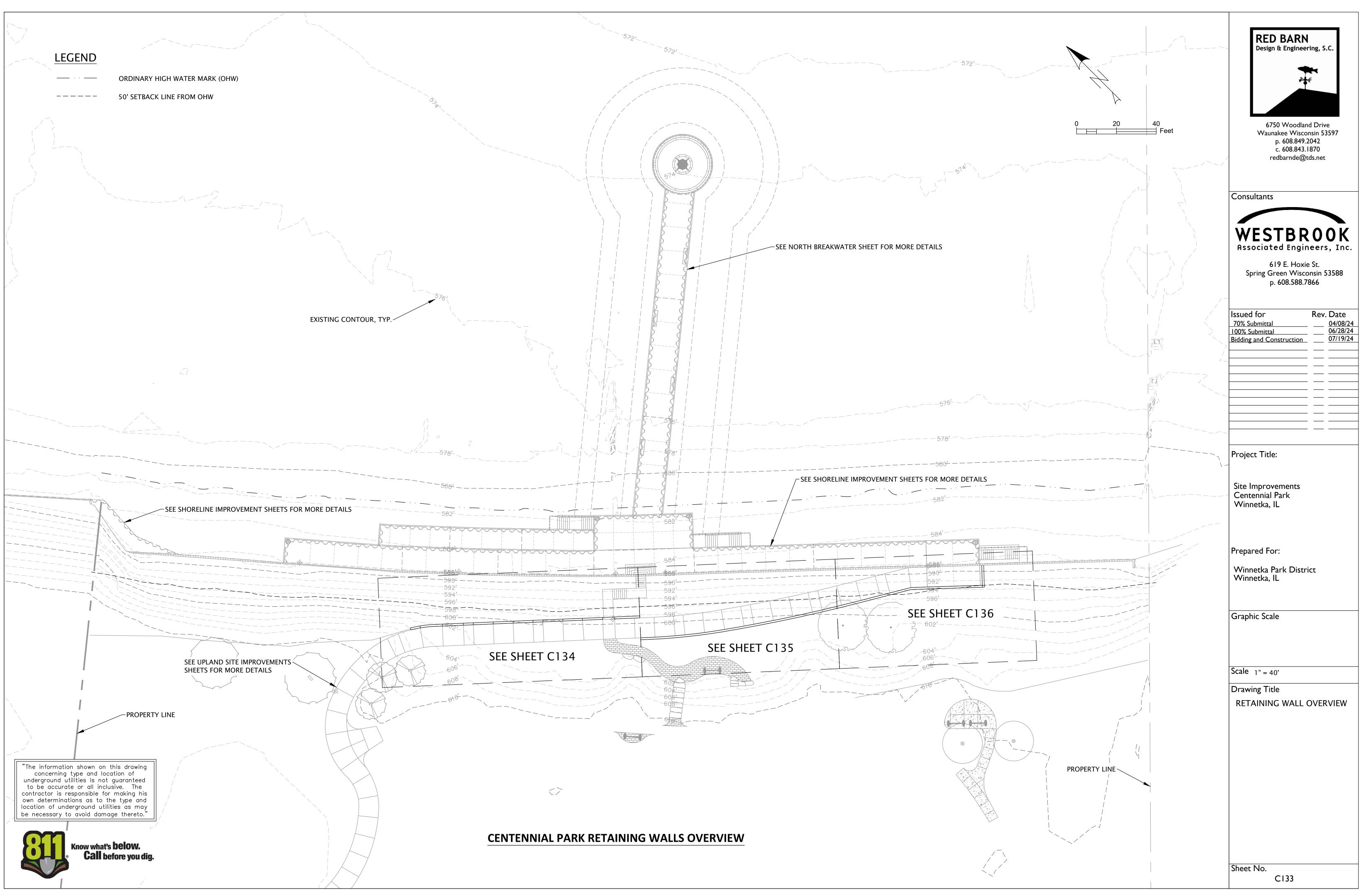
C130

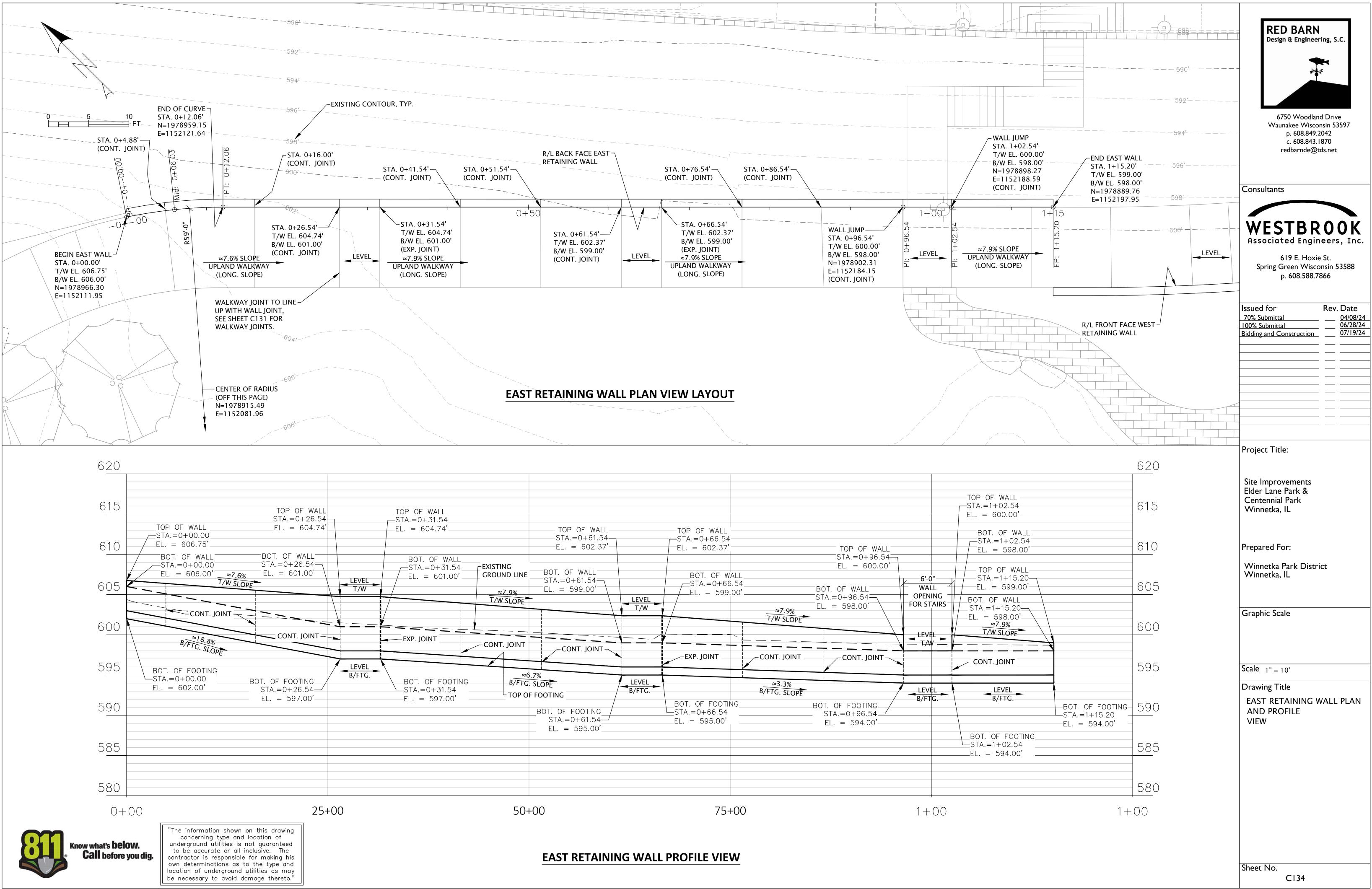


RED BARN   Design & Engineering, S.C.   State   State
Issued for       Rev. Date         70% Submittal       04/08/24         100% Submittal       06/28/24         Bidding And Construction       07/19/24
Project Title: Site Improvements Centennial Park Winnetka, IL
Prepared For: Winnetka Park District Winnetka, IL
Graphic Scale <sup>0' 10' 20'</sup> <sup>(In Feet)</sup> I Inch = 20 Ft. Scale I Inch = 20 Ft. Drawing Title Walkway Layout Plan and Details
Sheet No. C131

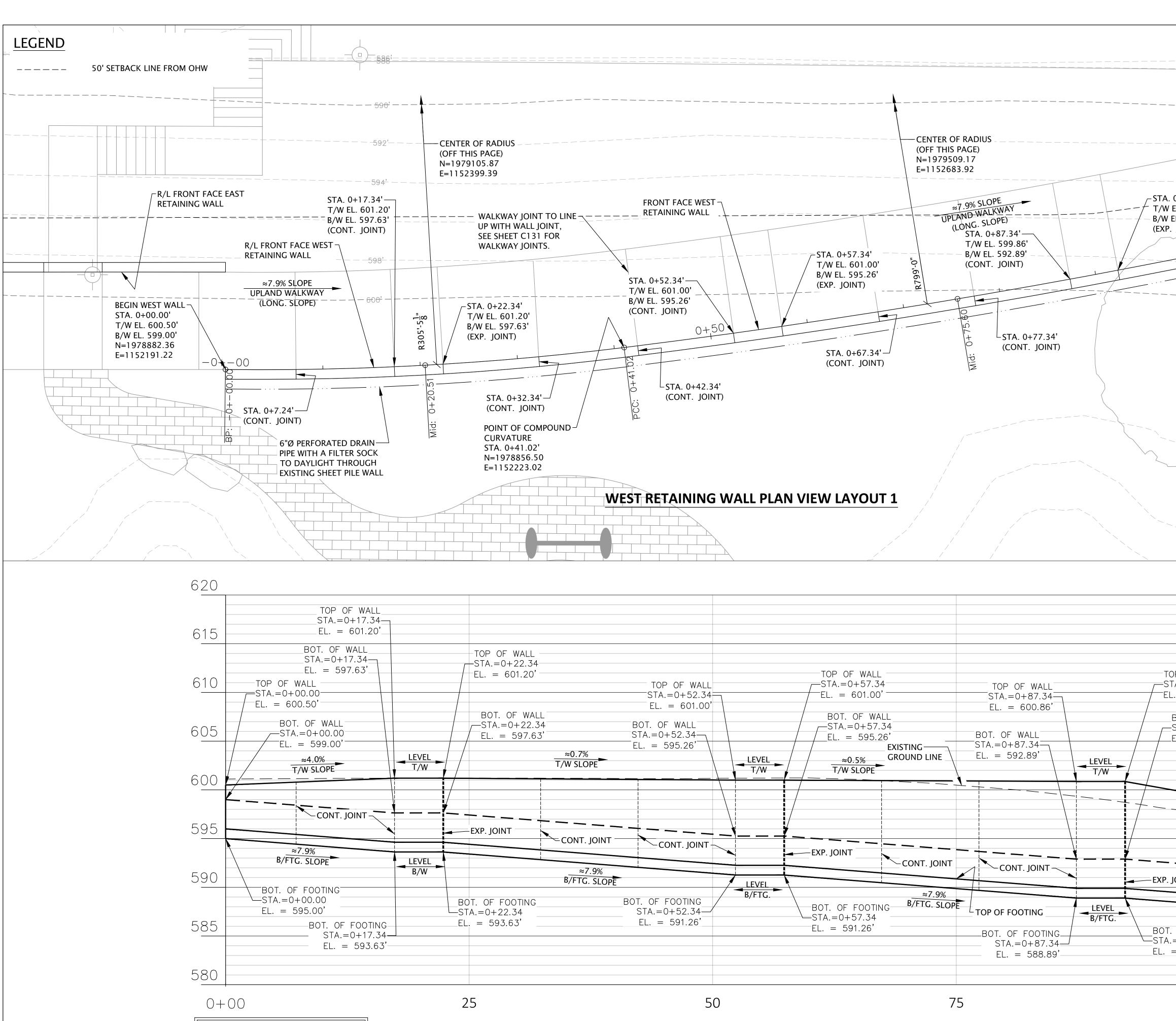


	RED BARN         Design & Engineering, S.C.         Image: Consultant State         AF50 Woodland Drive         Waunakee Wisconsin 53597         P. 608.849.2042         Consultants
CONTROLUOINT, TYP. SEE DETAIL 3 13 13 13	Issued for       Rev. Date         70% Submittal       04/08/24         100% Submittal       06/28/24         Bidding And Construction       07/19/24
JOINTS EVENLY SPACED 5'-6" MAX.	Site Improvements Centennial Park Winnetka, IL Prepared For: Winnetka Park District Winnetka, IL Graphic Scale
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5 JOINT LAYOUT PLAN C132 SCALE: 1" = 10'	Sheet No. CI32





	TOP OF WALL STA.=0+61.54		TOP OF WALL					
EXISTING GROUND LINE ≈7.9% T/W SLOPE	EL. = 602.37' BOT. OF WALL STA.=0+61.54 EL. = 599.00'	LEVEL T/W	STA.=0+66.54 EL. = 602.37' BOT. OF WAL STA.=0+66.5 EL. = 599.00	4	TOP OF WALL STA.=0+96.54 EL. = 600.00' BOT. OF WALL STA.=0+96.54 EL. = 598.00'	6'-C WAI OPEN FOR ST		
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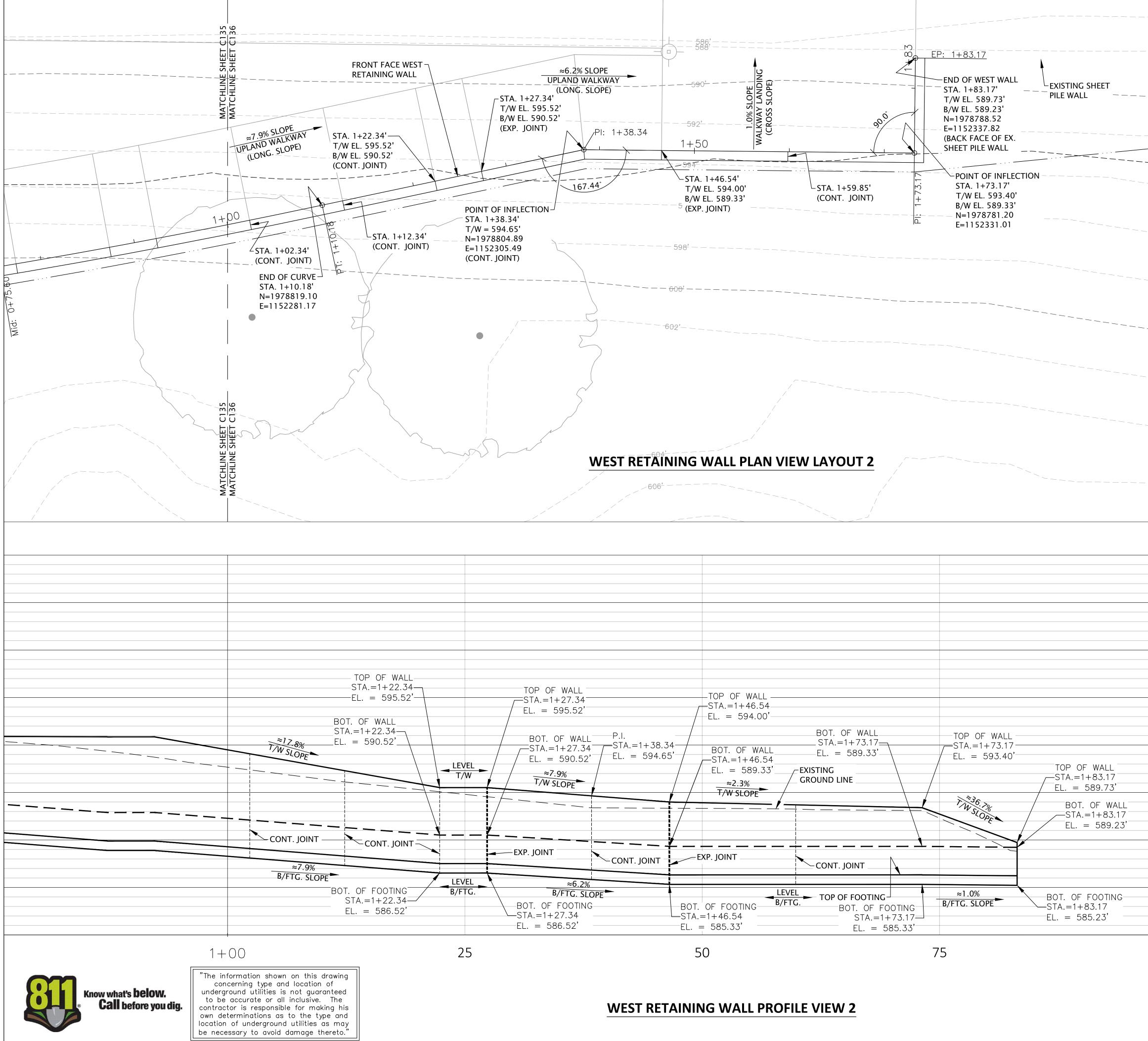
Know what's **below**.

Call before you dig.

"The information shown on this drawing concerning type and location of underground utilities is not guaranteed to be accurate or all inclusive. The contractor is responsible for making his own determinations as to the type and location of underground utilities as may be necessary to avoid damage thereto."

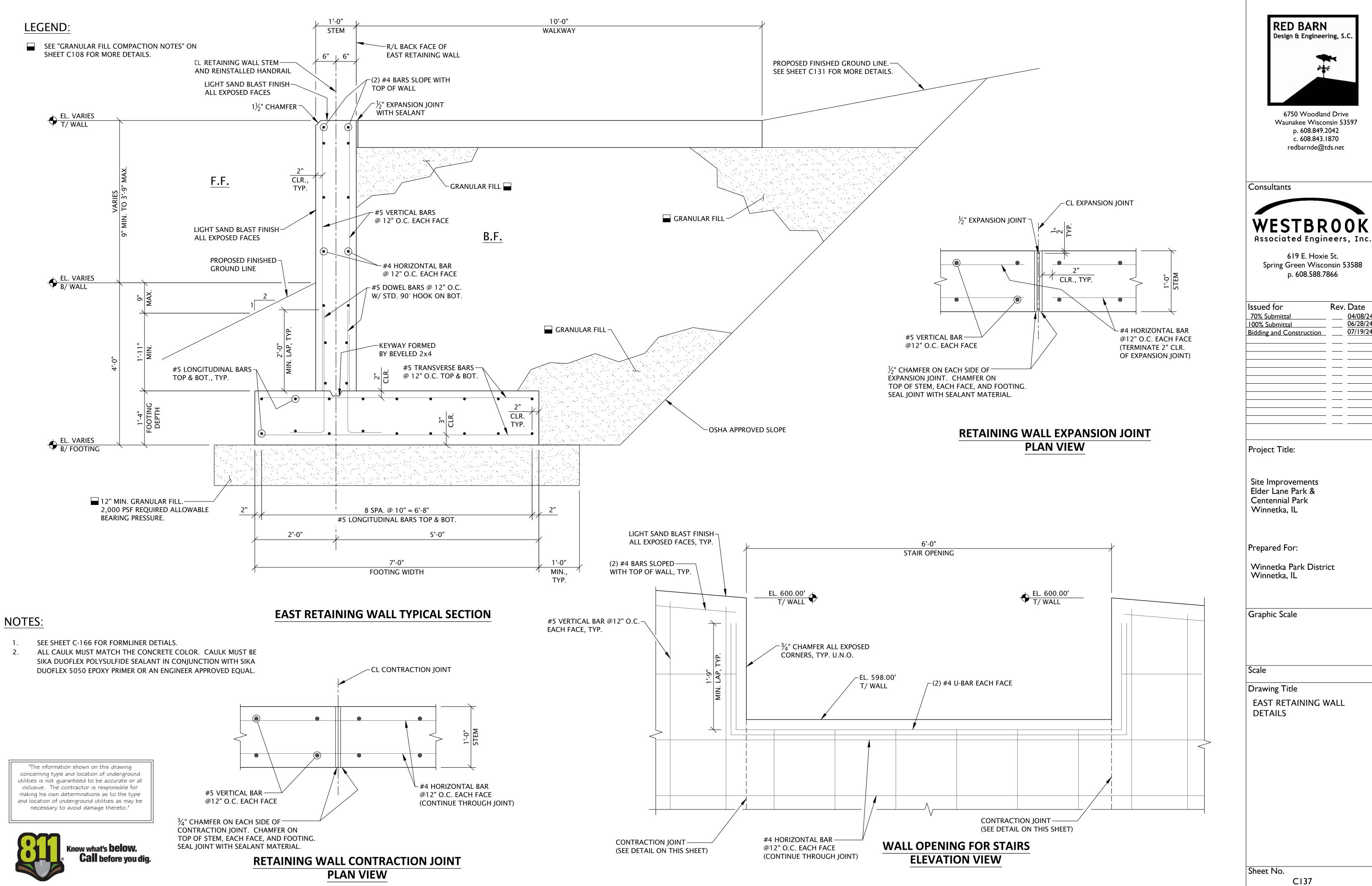
### WEST RETAINING WALL PROFILE VIEW 1

SE D LI HS BO HS BO	RED BARN         Design & Engineering, S.C.         Image: Construction of the state of the
	Consultants WESTBROOK Associated Engineers, Inc. 619 E. Hoxie St. Spring Green Wisconsin 53588 p. 608.588.7866
MATCHLINE SHEET C135 MATCHLINE SHEET C136	Issued for       Rev. Date         70% Submittal       04/08/24         100% Submittal       06/28/24         Bidding and Construction       07/19/24
	Project Title: Site Improvements Elder Lane Park & Centennial Park Winnetka, IL
P OF WALL A.=0+92.34 . = 600.86' BOT. OF WALL STA.=0+92.34 EL. = 592.89'	Prepared For: Winnetka Park District Winnetka, IL
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1+00 <b>25</b>	
	Sheet No. C135



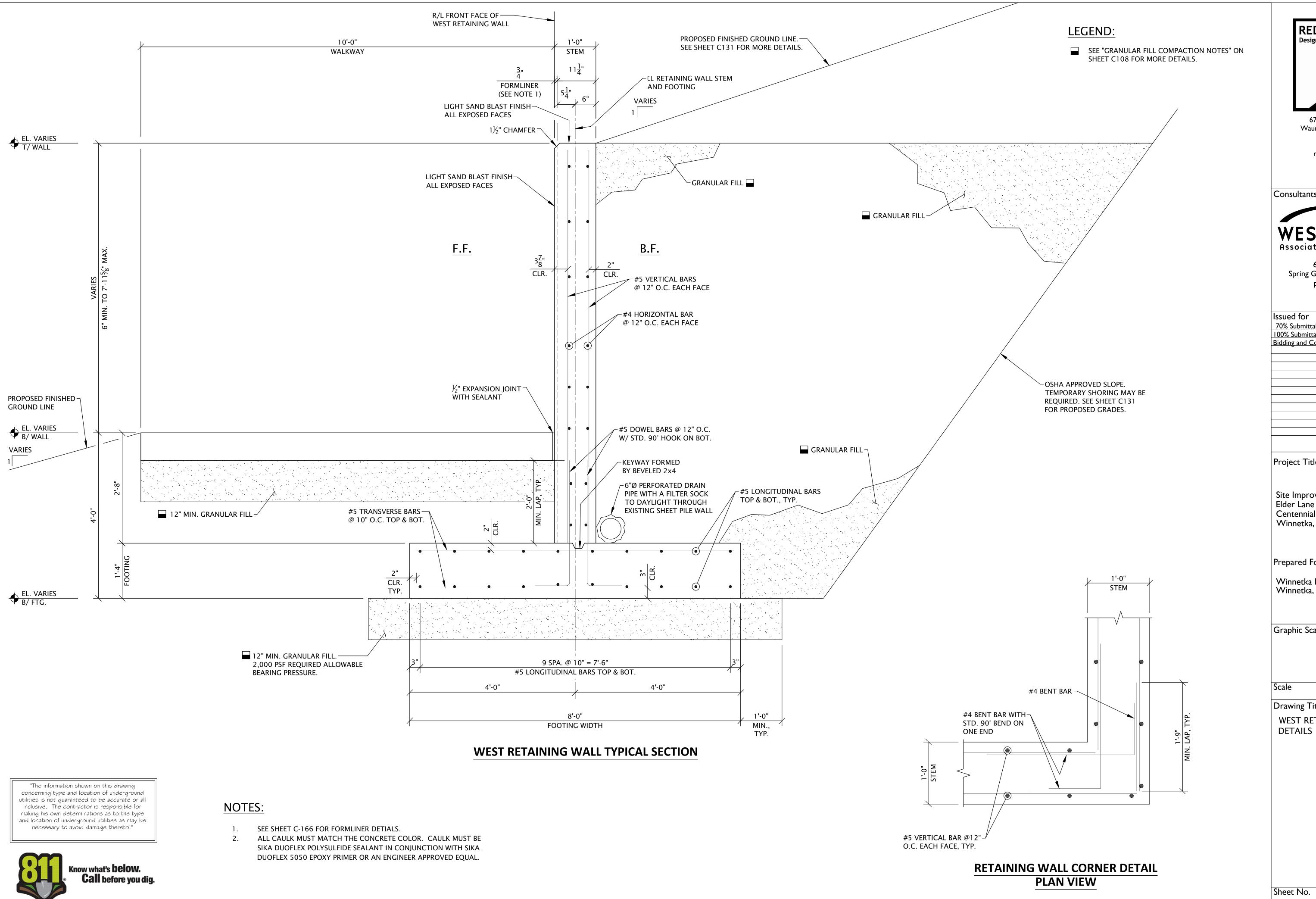
WEST RETAINING WALL PROFILE VIEW 2

6"Ø PERFORATED DRAIN PIPE WITH A FILTER SOCK TO DAYLIGHT THROUGH EXISTING SHEET PILE WALL		RED BARN Design & Engineering, S.C.
LEGEND		Consultants
	50' SETBACK LINE FROM OHW	WESTBROOK Associated Engineers, Inc. 619 E. Hoxie St. Spring Green Wisconsin 53588 p. 608.588.7866
		Issued for 70% SubmittalRev. Date 04/08/24100% Submittal06/28/24Bidding and Construction07/19/24
620		Project Title: Site Improvements
615		Elder Lane Park & Centennial Park Winnetka, IL
610		Prepared For:
605		Winnetka Park District Winnetka, IL
600		Graphic Scale
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585		
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		Sheet No. CI36

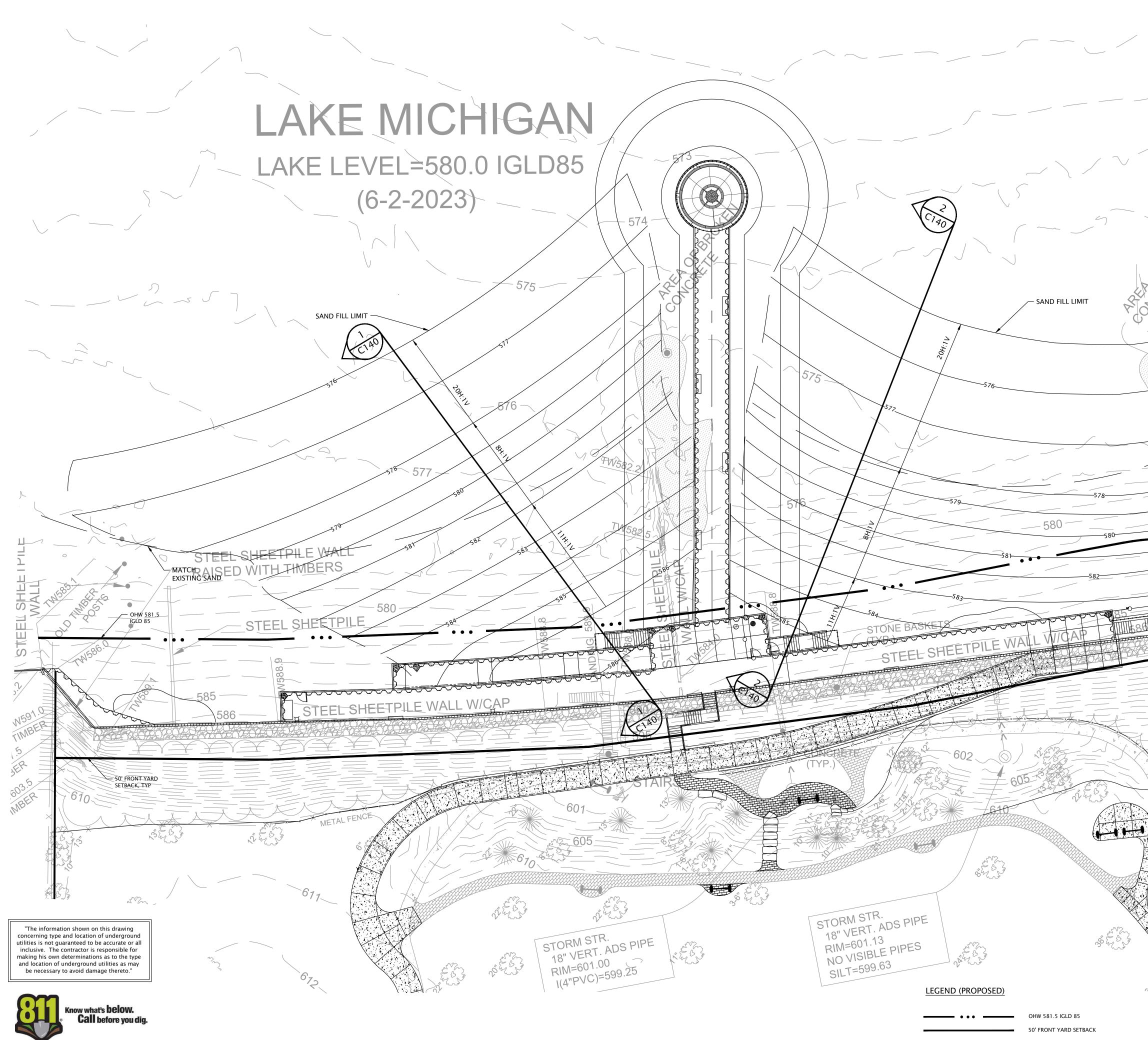


<u>04/08/24</u> 06/28/24

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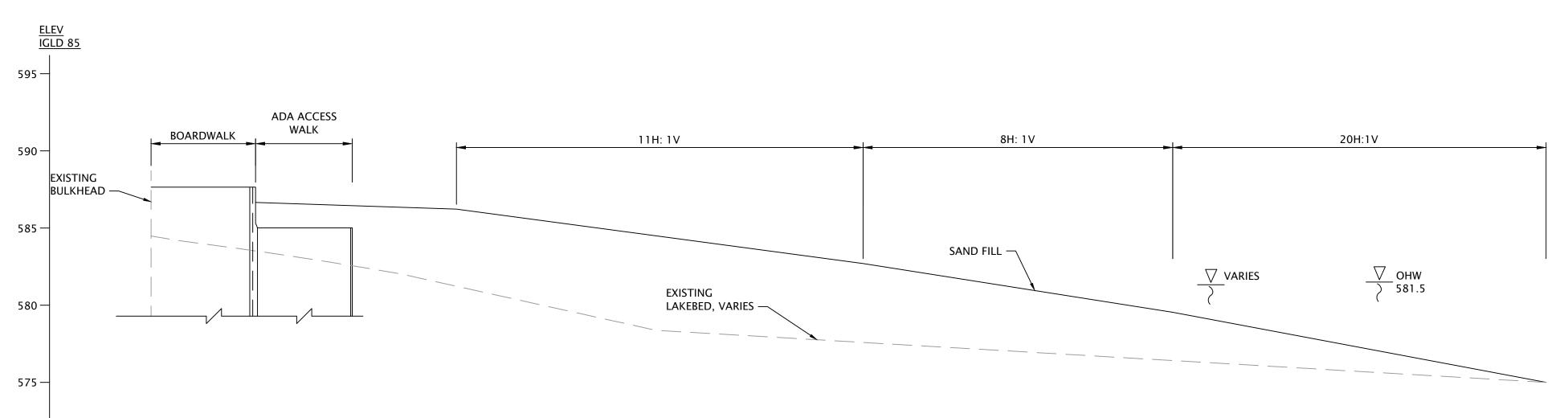


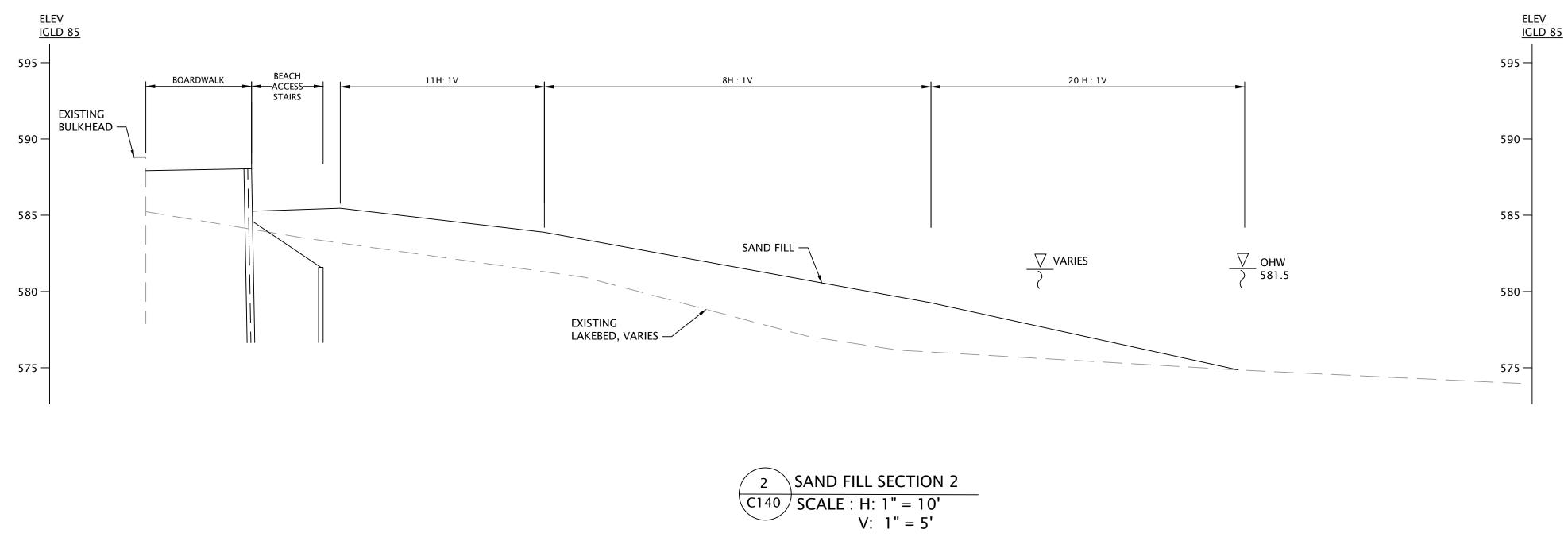
RED BARN         Design & Engineering, S.C.         Image: Consultants
<b>WESTBROOK</b> Associated Engineers, Inc. 619 E. Hoxie St. Spring Green Wisconsin 53588 p. 608.588.7866
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' Winnetka Park District Winnetka, IL
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Drawing Title WEST RETAINING WALL DETAILS
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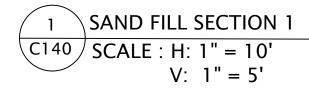


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RED BARN Design & Engineering, S.C.
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6750 Woodland Drive Waunakee Wisconsin 53597 p. 608.849.2042 c. 608.843.1870 redbarnde@tds.net
Consultants
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Project Title:
Site Improvements Centennial Park Winnetka, IL
Prepared For:
Winnetka Park District
Winnetka, IL
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icale   Inch = 20 Ft.
Drawing Title
Sand Fill Layout Plan
Sheet No. CI39



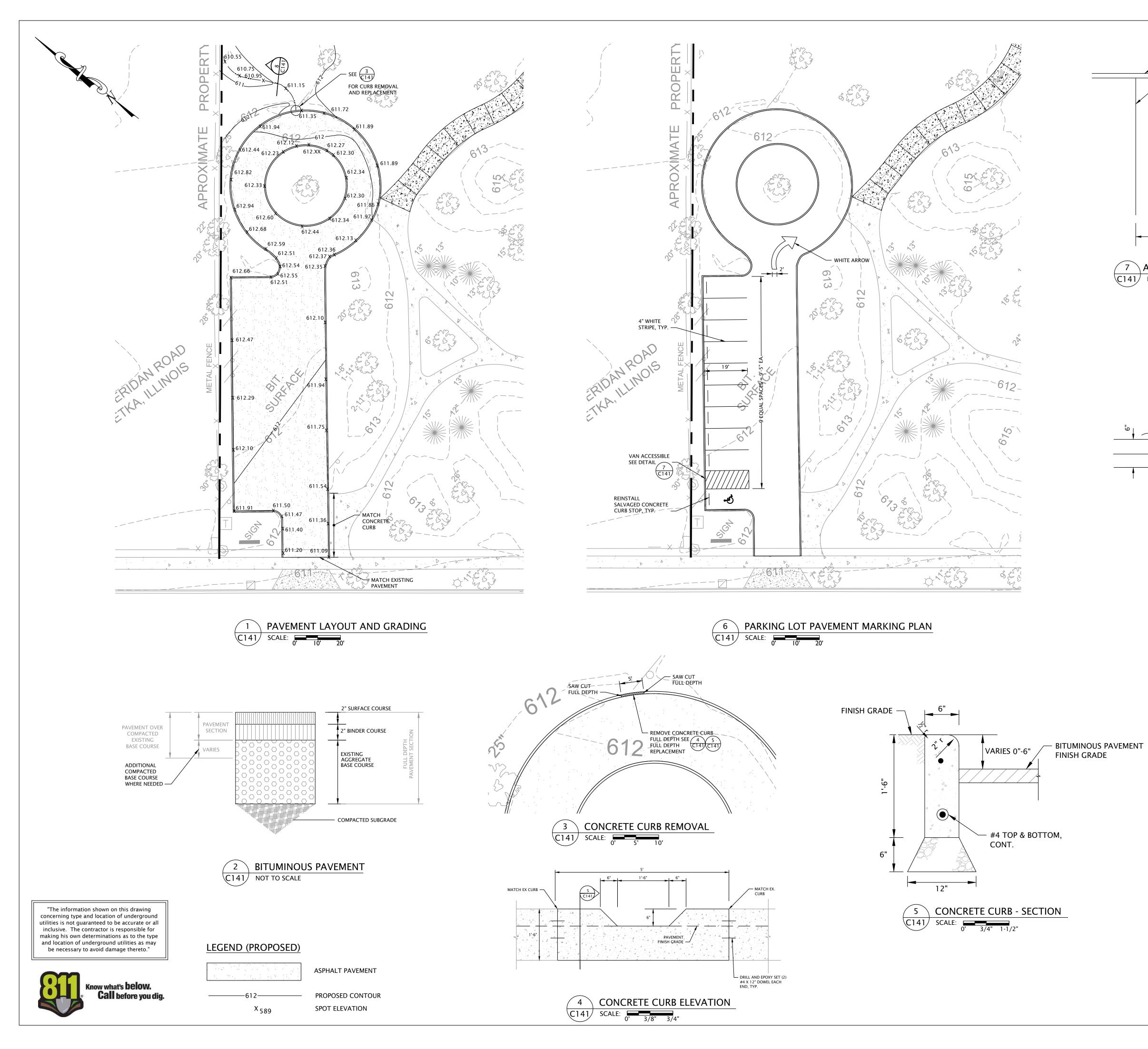


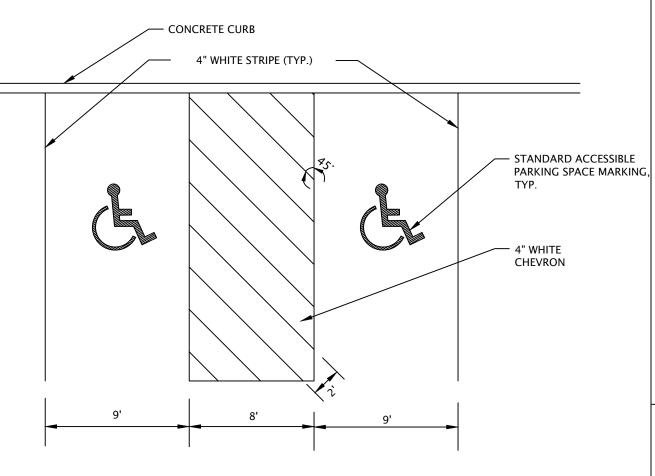


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Project Title: Site Improvements Centennial Park Winnetka, IL	
Prepared For: Winnetka Park Distric Winnetka, IL	ct
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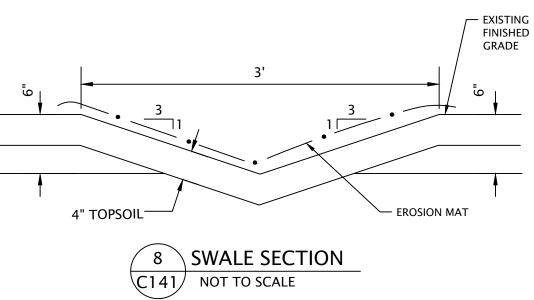
# <u>ELEV</u> IGLD 85 - 595 - 590 - 585

- 580 - 575





7 ACCESSIBLE PARKING SPACE PAVEMENT MARKING C141 NOT TO SCALE



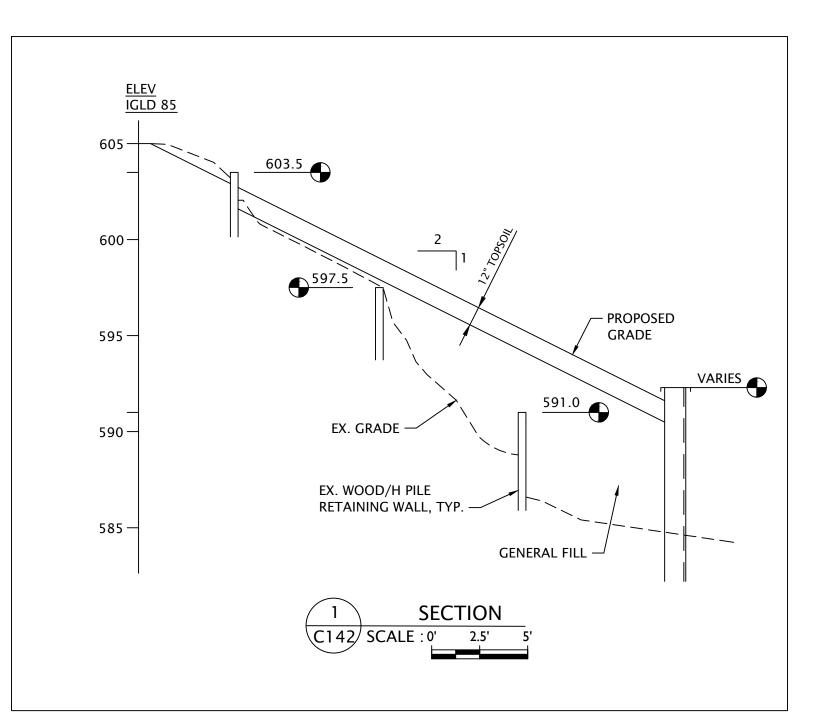
### WORK SEQUENCE NOTES:

- 1. LIMIT OF CONSTRUCTION ARE PAVEMENT EDGE UNLESS NOTED OTHERWISE.
- 2. SEE SHEET C100 FOR LEGEND OF EXISTING CONDITIONS.
- 3. BEFORE EXCAVATION OR DEMOLITION, CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING APPROPRIATE UTILITY COMPANIES AND JULIE FOR UTILITY LOCATIONS.
- 4. CONTOUR INTERVAL IS ONE (1) FOOT.
- 5. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSTALLED PRIOR TO DISTURBANCE ACTIVITIES.
- 6. SEED AND MULCH ALL DISTURBED AREAS.
- 7. PROPOSED GRADES SHOWN INDICATE FINISH GRADE.
- 8. CONTRACTOR WILL BE PROVIDED AUTOCAD DRAWING FILE FOR CONSTRUCTION LAYOUT AFTER AWARD OF CONSTRUCTION CONTRACT.

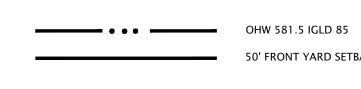
### NOTES:

- 1. SEE SHEET C100 FOR LEGEND OF EXISTING CONDITIONS.
- 2. CONTRACTOR WILL BE PROVIDED AUTOCAD DRAWING FILE FOR CONSTRUCTION LAYOUT AFTER AWARD OF CONTRACT.
- 3. LIMITS OF CONSTRUCTION ARE AS SHOWN UNLESS OTHERWISE NOTED.
- 4. BEFORE EXCAVATION OR DEMOLITION, CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING JULIE AND APPROPRIATE UTILITY COMPANIES FOR UTILITY LOCATIONS.

RED BARN   Design & Engineering, S.C.   Image: Construction of the state of
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Project Title:
Site Improvements Centennial Park Winnetka, IL
Prepared For:
Winnetka Park District Winnetka, IL
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0' 10' 20' (In Feet) I Inch = 20 Ft.
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Drawing Title
Park Parking Lot Improvements
Sheet No.
CI4I



### LEGEND (PROPOSED)

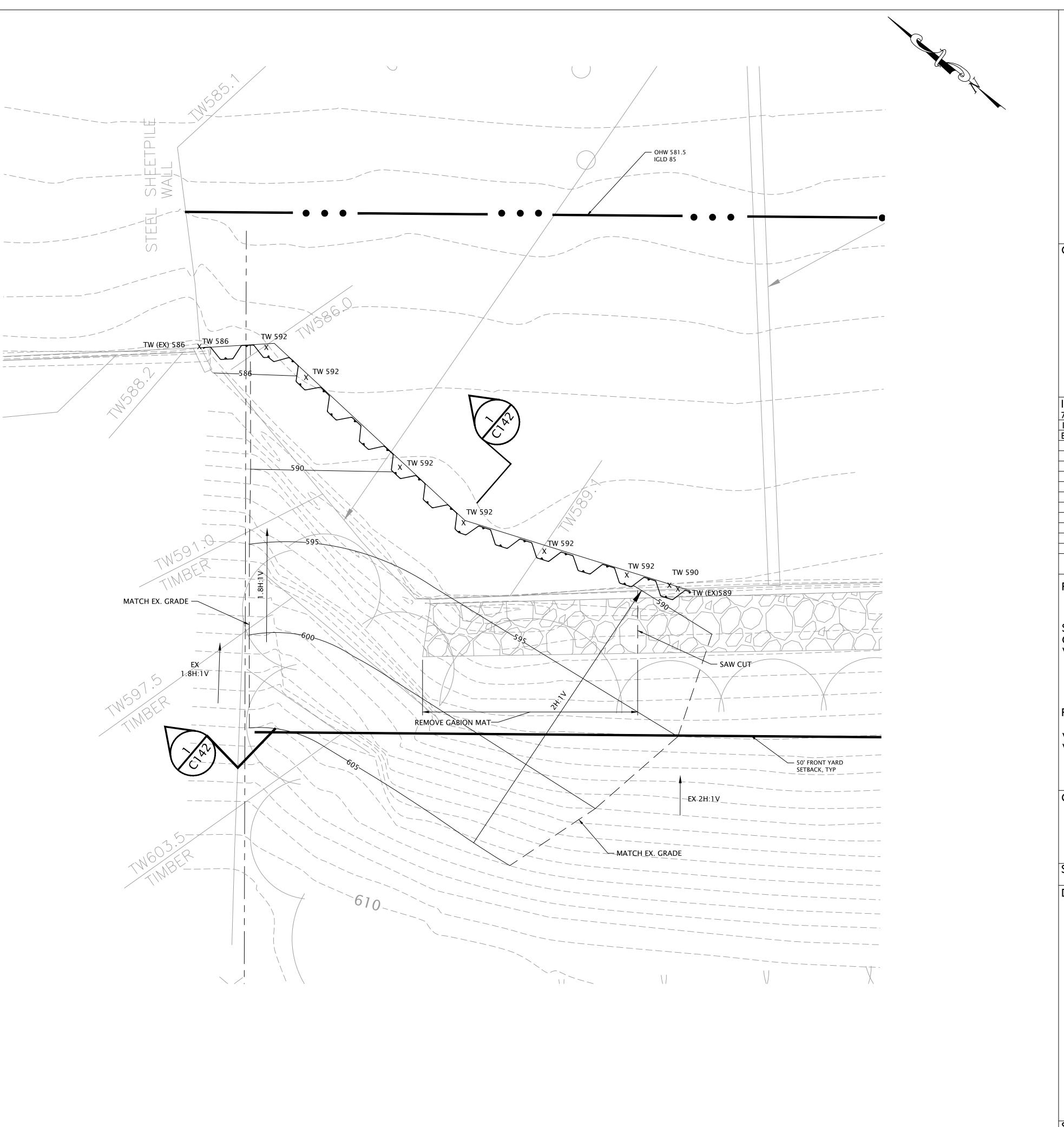


50' FRONT YARD SETBACK

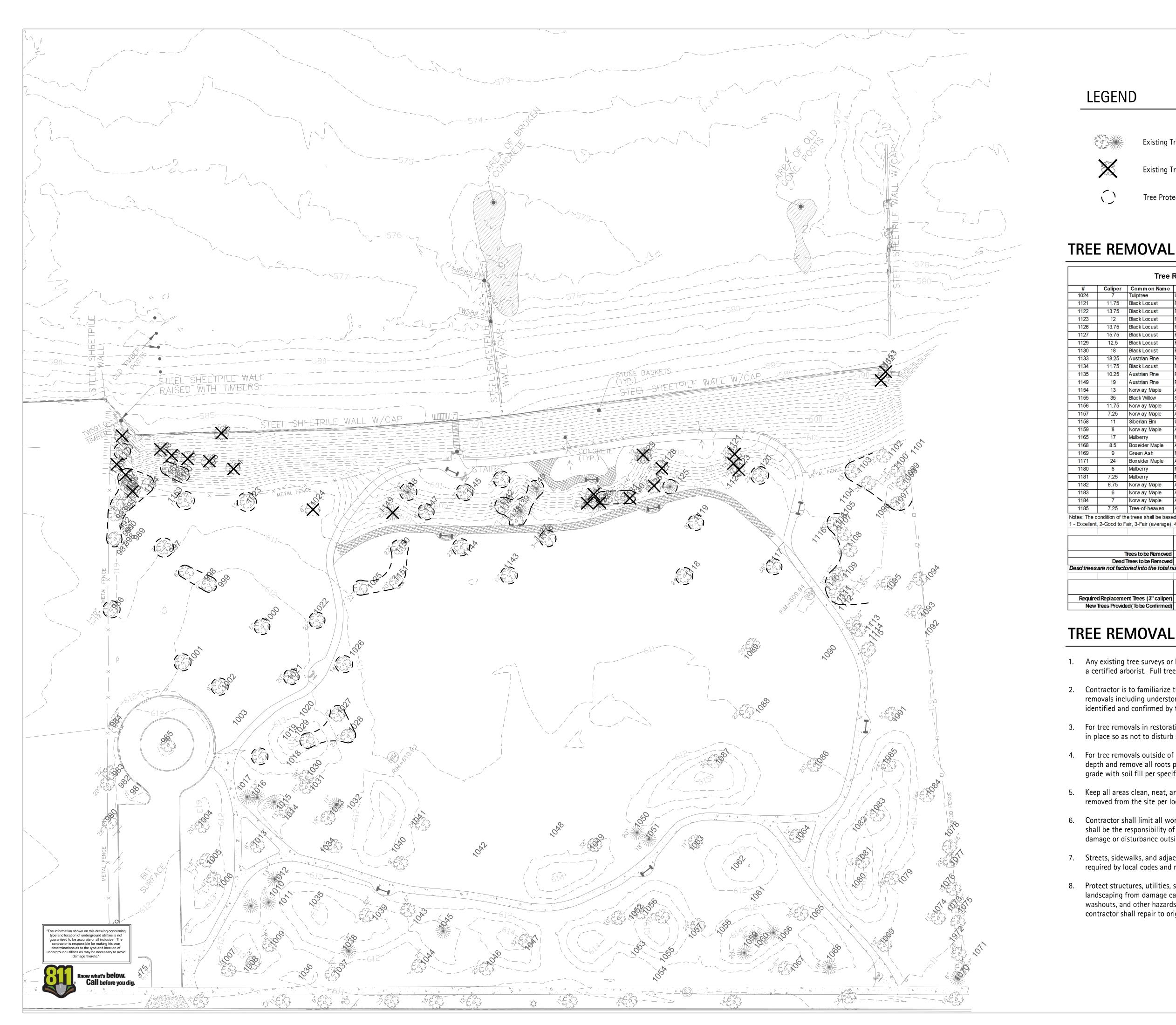
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Know what's **below**. **Call** before you dig.



RED BARN         Design & Engineering, S.C.         Image: Construction of the state of the
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Project Title:
Site Improvements Centennial Park Winnetka, IL
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Prepared For: Winnetka Park District
Winnetka, IL
Graphic Scale
0' 2.5' 5' $(In Feet)$ $I Inch = 5 Ft.$
Scale   Inch = 5 Ft.
Drawing Title
Centennial North Bulkhead Corner Improvements
Sheet No. C142



## LEGEND



Existing Trees to Remain

Existing Tree to be Removed

Tree Protection Fencing, typ.

## TREE REMOVAL LIST

Caliper	Comm on Name	Species	Condition	Notes
7	Tuliptree	Liriodendron tulipifera	2	
11.75	Black Locust	Robinia pseudoacacia	3	
13.75	Black Locust	Robinia pseudoacacia	3	
12	Black Locust	Robinia pseudoacacia	4	
13.75	Black Locust	Robinia pseudoacacia	3	forked at 3' with co-leaders
15.75	Black Locust	Robinia pseudoacacia	4	
12.5	Black Locust	Robinia pseudoacacia	3	forked at 3' with co-leaders
18	Black Locust	Robinia pseudoacacia	3	
18.25	Austrian Pine	Pinus nigra	3	
11.75	Black Locust	Robinia pseudoacacia	3	
10.25	Austrian Pine	Pinus nigra	3	
19	Austrian Pine	Pinus nigra	4	
13	Norw ay Maple	Acer platanoides	2	
35	Black Willow	Salix nigra	5	fallen over uprooted, cut off at wal
11.75	Norw ay Maple	Acer platanoides	3	
7.25	Norw ay Maple	Acer platanoides	2	
11	Siberian Em	Ulmus pumila	6	snapped off at 8'
8	Norw ay Maple	Acer platanoides	3	
17	Mulberry	Morus spp.	4	
8.5	Boxelder Maple	Acer negundo	3	
9	Green Ash	Fraxinus pennsylvanica	6	dead
24	Boxelder Maple	Acer negundo	5	on w ooden w all
6	Mulberry	Morus spp.	3	
7.25	Mulberry	Morus spp.	3	
6.75	Norw ay Maple	Acer platanoides	2	
6	Norw ay Maple	Acer platanoides	2	
7	Norw ay Maple	Acer platanoides	2	forked at base with a 5" co-leader
7.25	Tree-of-heaven	Ailanthus altissima	3	
		ed on a six (6) point scale a 4-Fair to Poor, 5-Poor, 6-I	Dead	g the best and six (6) being the w orst
		Total Quantity of Trees	Total Caliper Inches	
	frees to be Removed Trees to be Removed	28	269.5 79	

## TREE REMOVAL NOTES

1. Any existing tree surveys or locations for these plans were prepared by the engineer or a certified arborist. Full tree inventory survey will be provided upon request.

Total Quantity of Trees

9

Total Caliper Inches

90 36

2. Contractor is to familiarize themselves with the restoration plan areas. All tree removals including understory tree removals within restoration areas shall be tagged or identified and confirmed by the contractor with the owner and owner's representative.

3. For tree removals in restoration areas, cut off flush with finished grade and leave roots in place so as not to disturb slope.

4. For tree removals outside of restoration areas, grind out stumps to a minimum of 18" depth and remove all roots prior to installation of proposed materials. Bring to finish grade with soil fill per specifications.

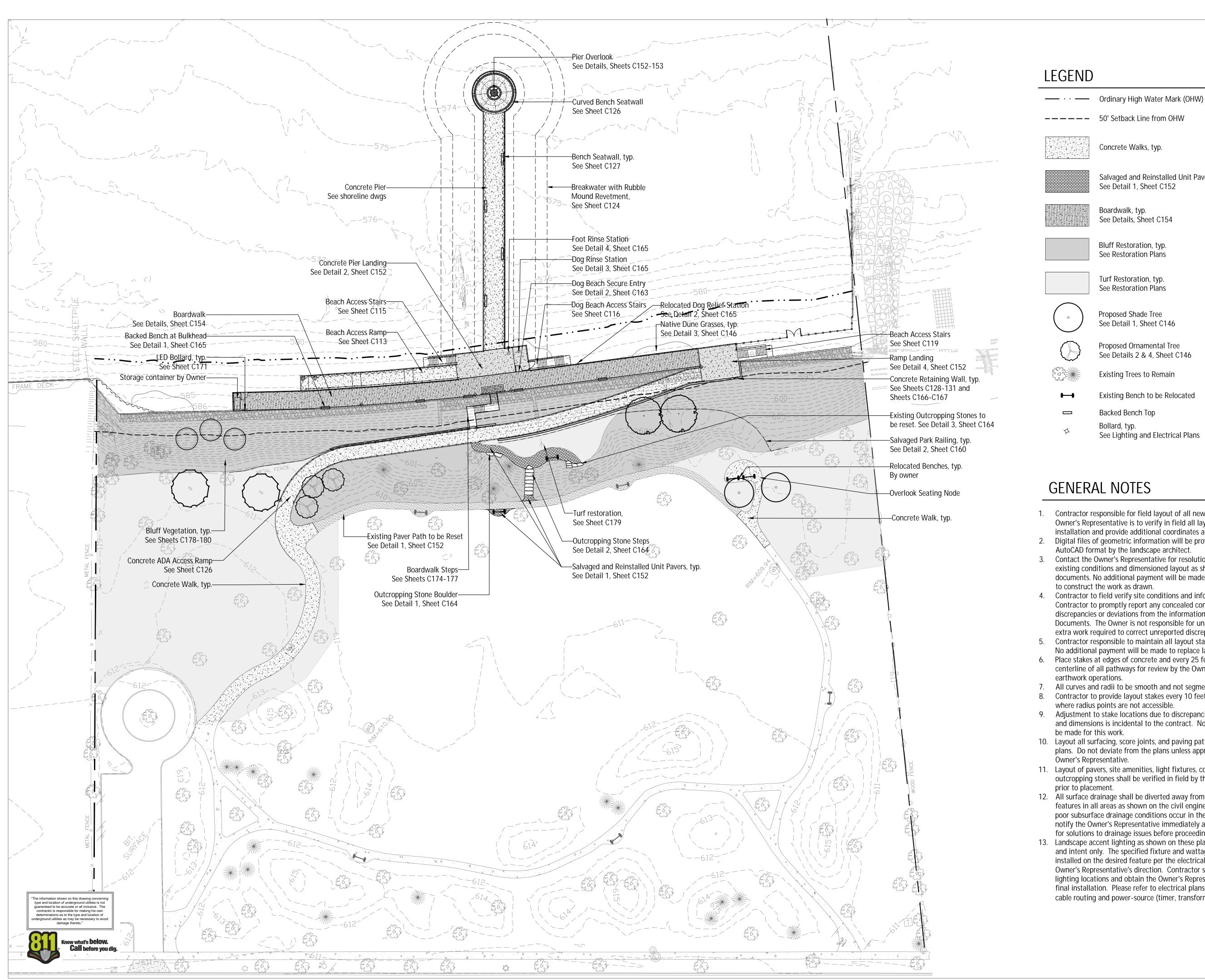
5. Keep all areas clean, neat, and orderly at all times. Legally dispose of all materials removed from the site per local codes and regulations.

6. Contractor shall limit all work and disturbance to within designated project areas. It shall be the responsibility of the contractor to restore to the original condition any damage or disturbance outside these limits.

7. Streets, sidewalks, and adjacent property shall be protected throughout the work as required by local codes and regulations and as approved by the Village.

8. Protect structures, utilities, sidewalks, pavements, fencing, furnishings, trees, and landscaping from damage caused by settlement, lateral movement, undermining, washouts, and other hazards created by site improvements. If any damage occurs, contractor shall repair to original condition at no additional cost.

RED BARN   Design & Engineering, S.C.   Image: Construction of the series of the
Consultants         THE SUBSE         LAKOTA         GROUP         I East Wacker Drive         Suite 2700         Chicago, Illinois 60601         p 312.467.5445         f 312.467.5484         thelakotagroup.com         Issued for         70% Submittal         100% Submittal         Bidding and Construction
Project Title: Site Improvements Centennial Park Winnetka, IL
Prepared For: Winnetka Park District Winnetka, IL Graphic Scale
Scale I Inch = 30 Ft. Drawing Title TREE PRESERVATION PLAN
Sheet No. C143



## LEGEND

---- 50' Setback Line from OHW

Concrete Walks, typ.

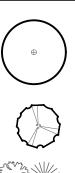


Boardwalk, typ. See Details, Sheet C154

See Detail 1, Sheet C152

Salvaged and Reinstalled Unit Pavers, typ.

Bluff Restoration, typ. See Restoration Plans



Ø

Proposed Shade Tree

Turf Restoration, typ.

See Restoration Plans

See Detail 1, Sheet C146

Proposed Ornamental Tree See Details 2 & 4, Sheet C146

Existing Trees to Remain

Existing Bench to be Relocated +-+

> Backed Bench Top Bollard, typ.

See Lighting and Electrical Plans

## GENERAL NOTES

1. Contractor responsible for field layout of all new improvements. The Owner's Representative is to verify in field all layout and locations prior to installation and provide additional coordinates and dimensions as needed. 2. Digital files of geometric information will be provided upon request in AutoCAD format by the landscape architect.

3. Contact the Owner's Representative for resolution of discrepancies between existing conditions and dimensioned layout as shown in contract documents. No additional payment will be made for adjustments necessary to construct the work as drawn.

4. Contractor to field verify site conditions and information on drawings. Contractor to promptly report any concealed conditions, mistakes, discrepancies or deviations from the information shown in the Contract Documents. The Owner is not responsible for unauthorized changes or extra work required to correct unreported discrepancies.

5. Contractor responsible to maintain all layout stakes during construction. No additional payment will be made to replace layout stakes. 6. Place stakes at edges of concrete and every 25 feet on center along

centerline of all pathways for review by the Owner's Representative prior to earthwork operations.

All curves and radii to be smooth and not segmented.

8. Contractor to provide layout stakes every 10 feet minimum for large arcs where radius points are not accessible.

9. Adjustment to stake locations due to discrepancies between coordinates and dimensions is incidental to the contract. No additional payments will be made for this work.

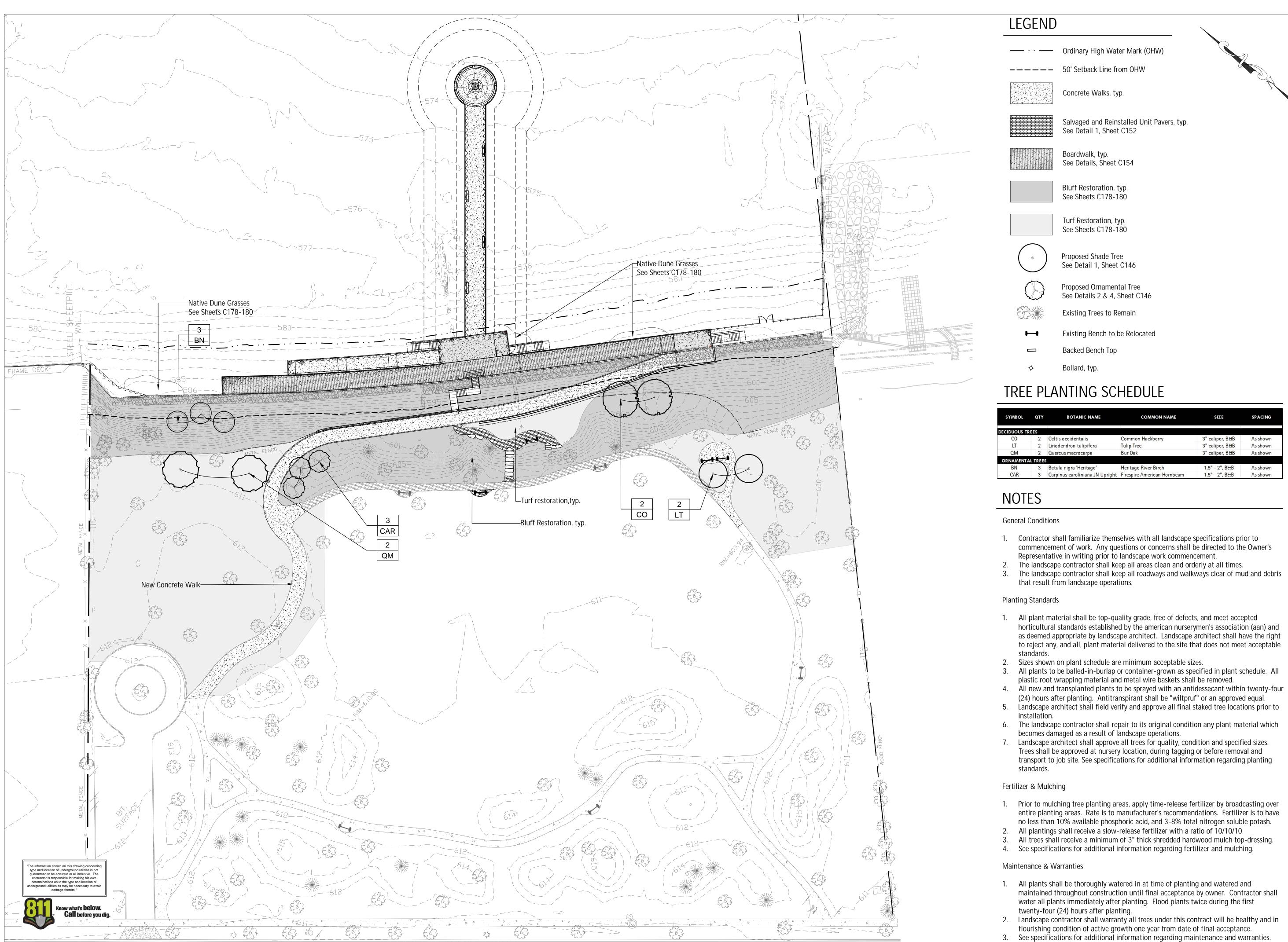
10. Layout all surfacing, score joints, and paving patterns as identified in the plans. Do not deviate from the plans unless approval is obtained from the Owner's Representative.

11. Layout of pavers, site amenities, light fixtures, control box enclosure(s), and outcropping stones shall be verified in field by the Owner's Representative prior to placement.

12. All surface drainage shall be diverted away from structures and noted site features in all areas as shown on the civil engineer's grading plans. Where poor subsurface drainage conditions occur in the field, contractor shall notify the Owner's Representative immediately and make recommendations for solutions to drainage issues before proceeding with work.

13. Landscape accent lighting as shown on these plans is for general location and intent only. The specified fixture and wattage shall be provided and installed on the desired feature per the electrical drawings and at the Owner's Representative's direction. Contractor shall field stake all accent lighting locations and obtain the Owner's Representative's approval before final installation. Please refer to electrical plans for conduit or low-voltage cable routing and power-source (timer, transformers, switch boxes, etc.).

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Consultants           THE           THE           LAKOTA           GROUP           1 East Wacker Drive           Suite 2700           Chicago, Illinois 60601           p 312.467.5445           f 312.467.5484           thelakotagroup.com           ssued for           0% Submittal           00% Submittal           idding and Construction	06/28/24
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Drawing Title DVERALL SITE PLAN	
heet No.	
C144	



SOL	QTY	BOTANIC NAME	COMMON NAME	SIZE	SPACING
OUS TR	EES			ļ	
)	2	Celtis occidentalis	Common Hackberry	3" caliper, B&B	As shown
	2	Liriodendron tulipifera	Tulip Tree	3" caliper, B&B	As shown
1	2	Quercus macrocarpa	Bur Oak	3" caliper, B&B	As shown
<b>NENTA</b>	L TREES				
1	3	Betula nigra 'Heritage'	Heritage River Birch	1.5" - 2", B&B	As shown
R	3	Carpinus caroliniana JN Upright	Firespire American Hornbeam	1.5" - 2", B&B	As shown

1. Contractor shall familiarize themselves with all landscape specifications prior to commencement of work. Any questions or concerns shall be directed to the Owner's

2. The landscape contractor shall keep all areas clean and orderly at all times.

3. The landscape contractor shall keep all roadways and walkways clear of mud and debris

1. All plant material shall be top-quality grade, free of defects, and meet accepted horticultural standards established by the american nurserymen's association (aan) and as deemed appropriate by landscape architect. Landscape architect shall have the right to reject any, and all, plant material delivered to the site that does not meet acceptable

3. All plants to be balled-in-burlap or container-grown as specified in plant schedule. All plastic root wrapping material and metal wire baskets shall be removed.

(24) hours after planting. Antitranspirant shall be "wiltpruf" or an approved equal. 5. Landscape architect shall field verify and approve all final staked tree locations prior to

6. The landscape contractor shall repair to its original condition any plant material which

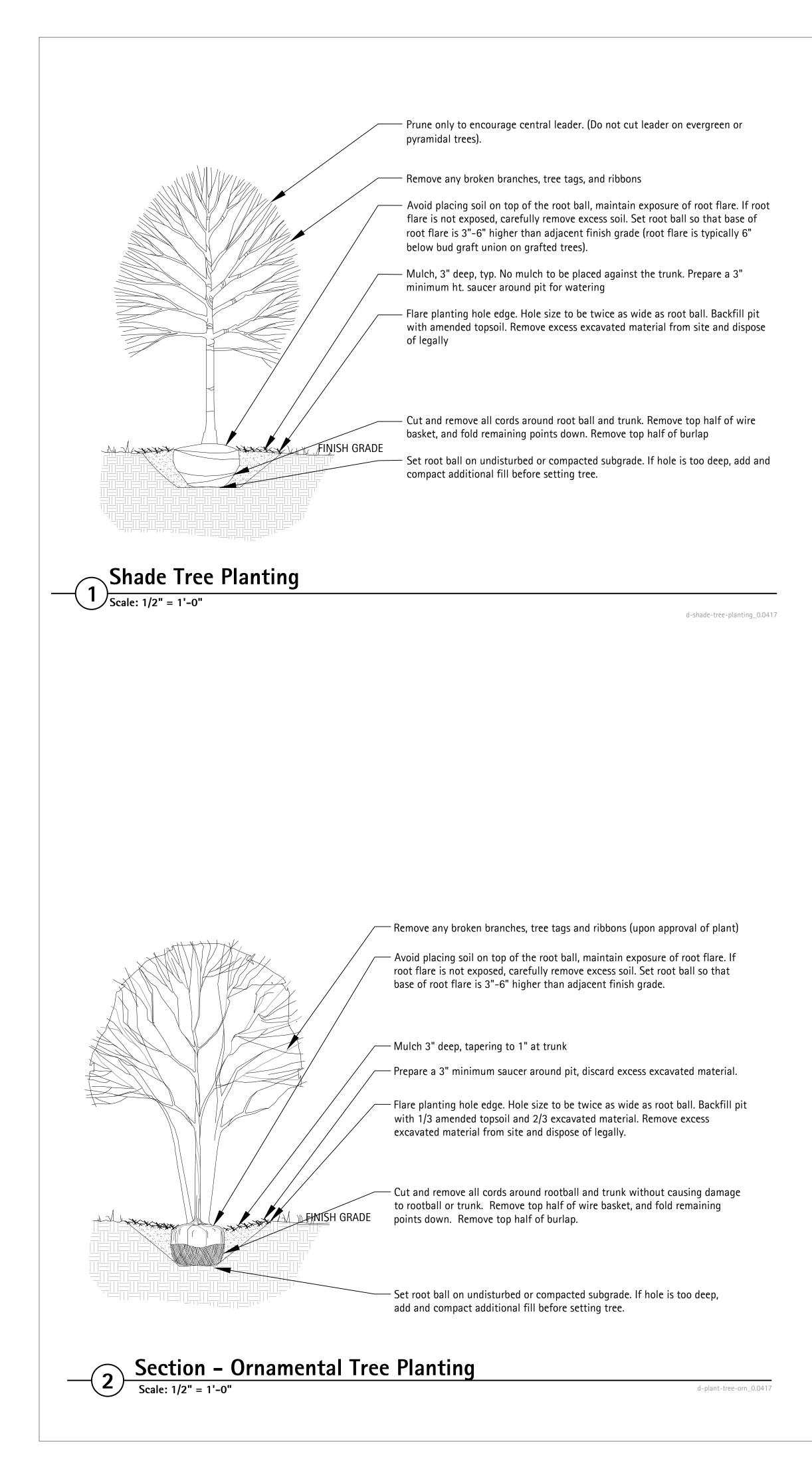
Trees shall be approved at nursery location, during tagging or before removal and transport to job site. See specifications for additional information regarding planting

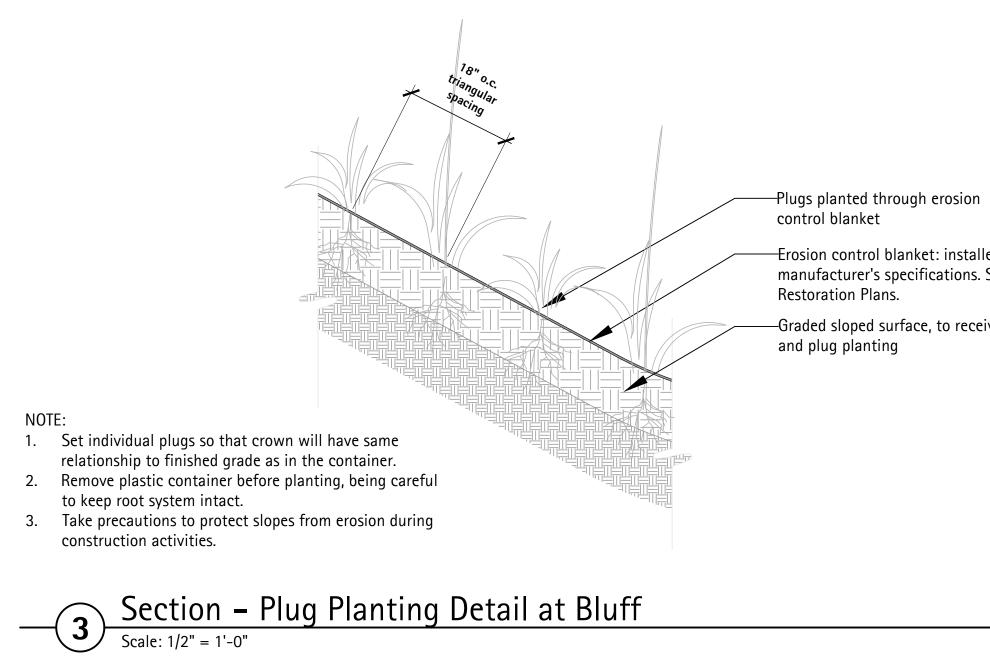
1. Prior to mulching tree planting areas, apply time-release fertilizer by broadcasting over entire planting areas. Rate is to manufacturer's recommendations. Fertilizer is to have no less than 10% available phosphoric acid, and 3-8% total nitrogen soluble potash. 2. All plantings shall receive a slow-release fertilizer with a ratio of 10/10/10. 3. All trees shall receive a minimum of 3" thick shredded hardwood mulch top-dressing. 4. See specifications for additional information regarding fertilizer and mulching.

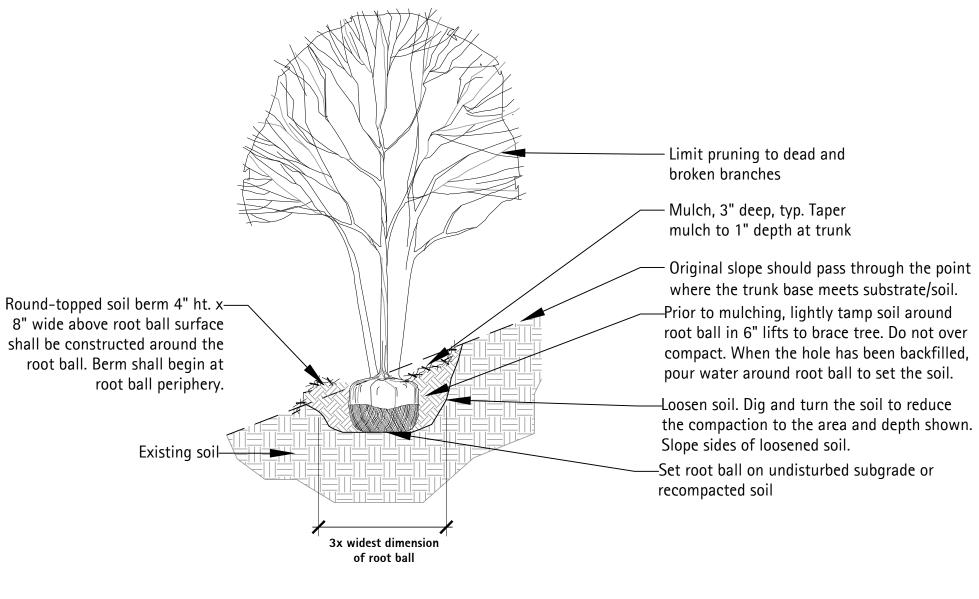
1. All plants shall be thoroughly watered in at time of planting and watered and maintained throughout construction until final acceptance by owner. Contractor shall water all plants immediately after planting. Flood plants twice during the first

2. Landscape contractor shall warranty all trees under this contract will be healthy and in flourishing condition of active growth one year from date of final acceptance. 3. See specifications for additional information regarding maintenance and warranties.

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0' 15' 30' ( In Feet )
Scale 1 Inch = 30 Ft.
Drawing Title
LANDSCAPE PLAN
Shoot No
Sheet No. C145







-Erosion control blanket: installed per manufacturer's specifications. See

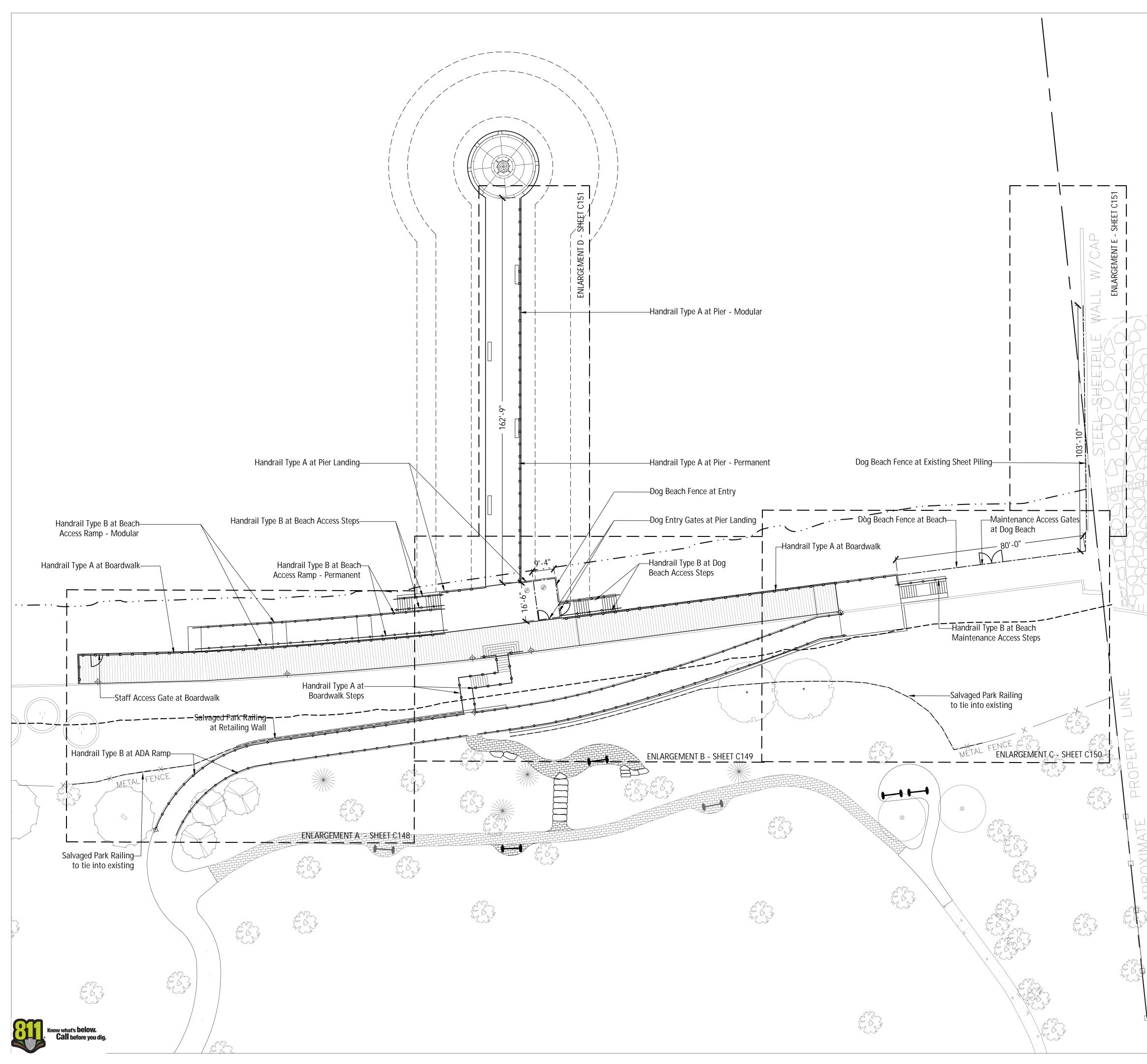
—Graded sloped surface, to receive blanket

d-plant-bluff plug

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# 4 Scale: 1/2" = 1'-0"

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Graphic Scale
Scale
Drawing Title
PLANTING DETAILS
Sheet No. CI46



## LEGEND

	Ordinary High Water Mark (OHW)
	50' Setback Line from OHW
<mark>00</mark>	Handrail Type A See Details, Sheets C155-157
<b></b>	Handrail Type B See Details, Sheet C158-C160
	Dog Beach Fencing See Details, Sheet C161-163
<u> </u>	Salvaged Park Railing See Detail 2, Sheet C160

## METAL FABRICATION NOTES

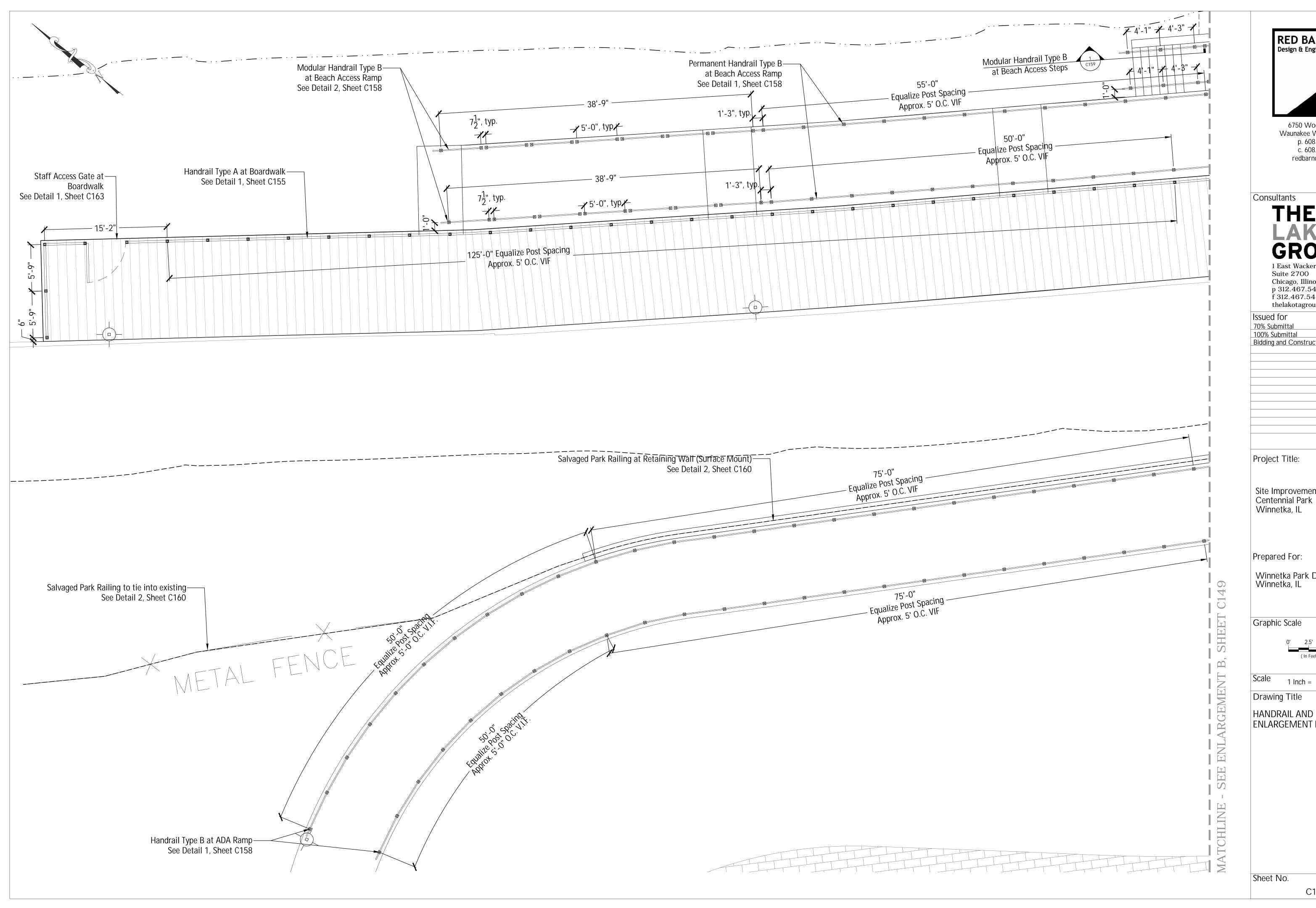
- 1. Metal fabricator to provide shop drawings and specifications for all metal work including, but not limited to, all connections, fixtures, hardware, and related equipment needed to provide structure and coverage per the contract drawings and for review by the Owner's Representative.
- 2. Contractor shall provide coordinated shop drawings for all fabrication components and installation of these elements for approval by Owner's representative. Shop drawings shall coordinate all aspects of the bluff ramp, boardwalk, and staircase construction including structural, ipe decking, wood, concrete, and metal fabrication.
- 3. Contractor shall assume full structural and manufacturing responsibility for all mounting components and ensure durability and integrity of these elements.
- 4. Mockups of each handrail type shall be submitted for review and approval by Owner and Owner's representative. Approved mockups to become part of final installation.

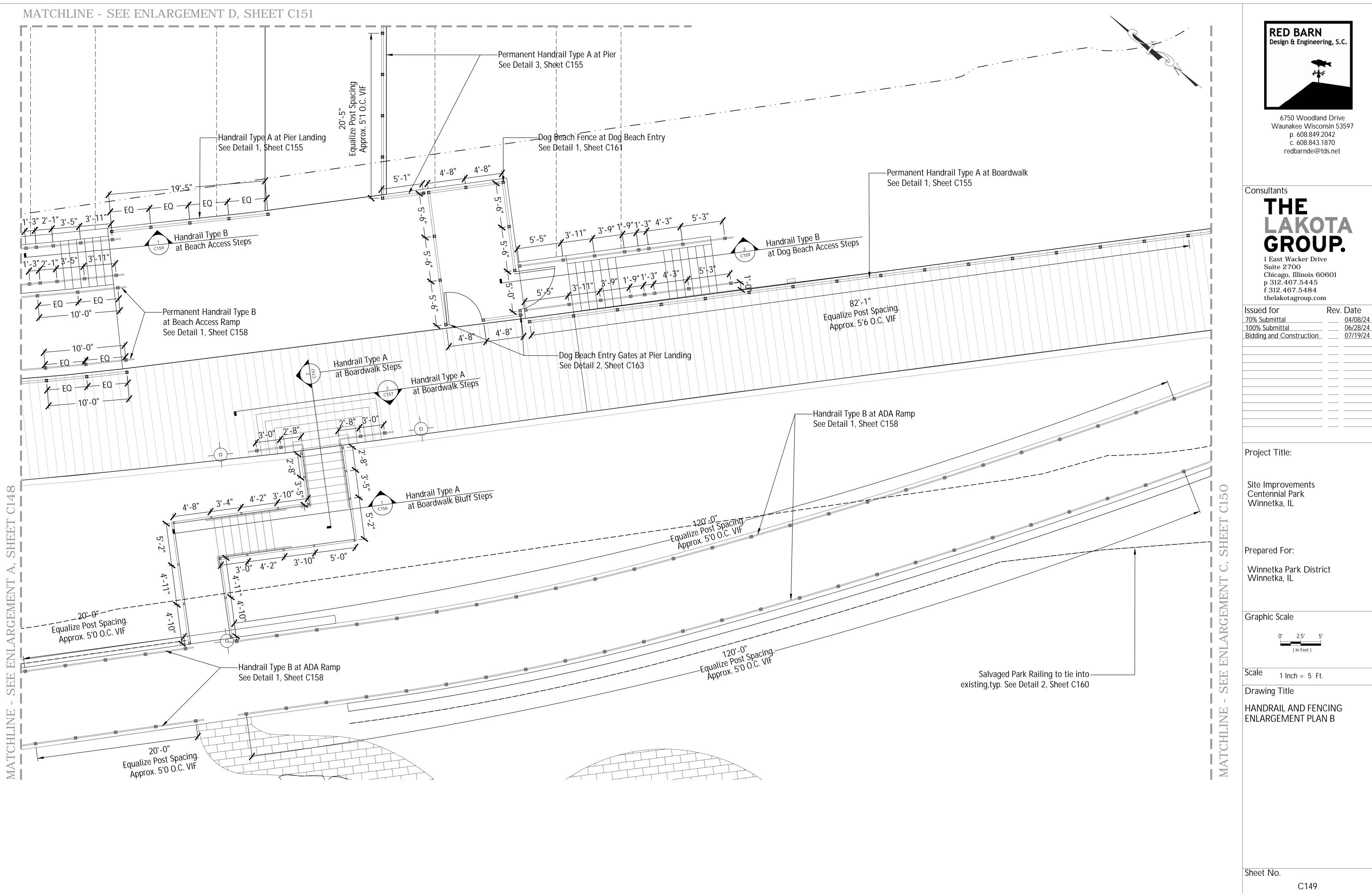
## HANDRAIL NOTES

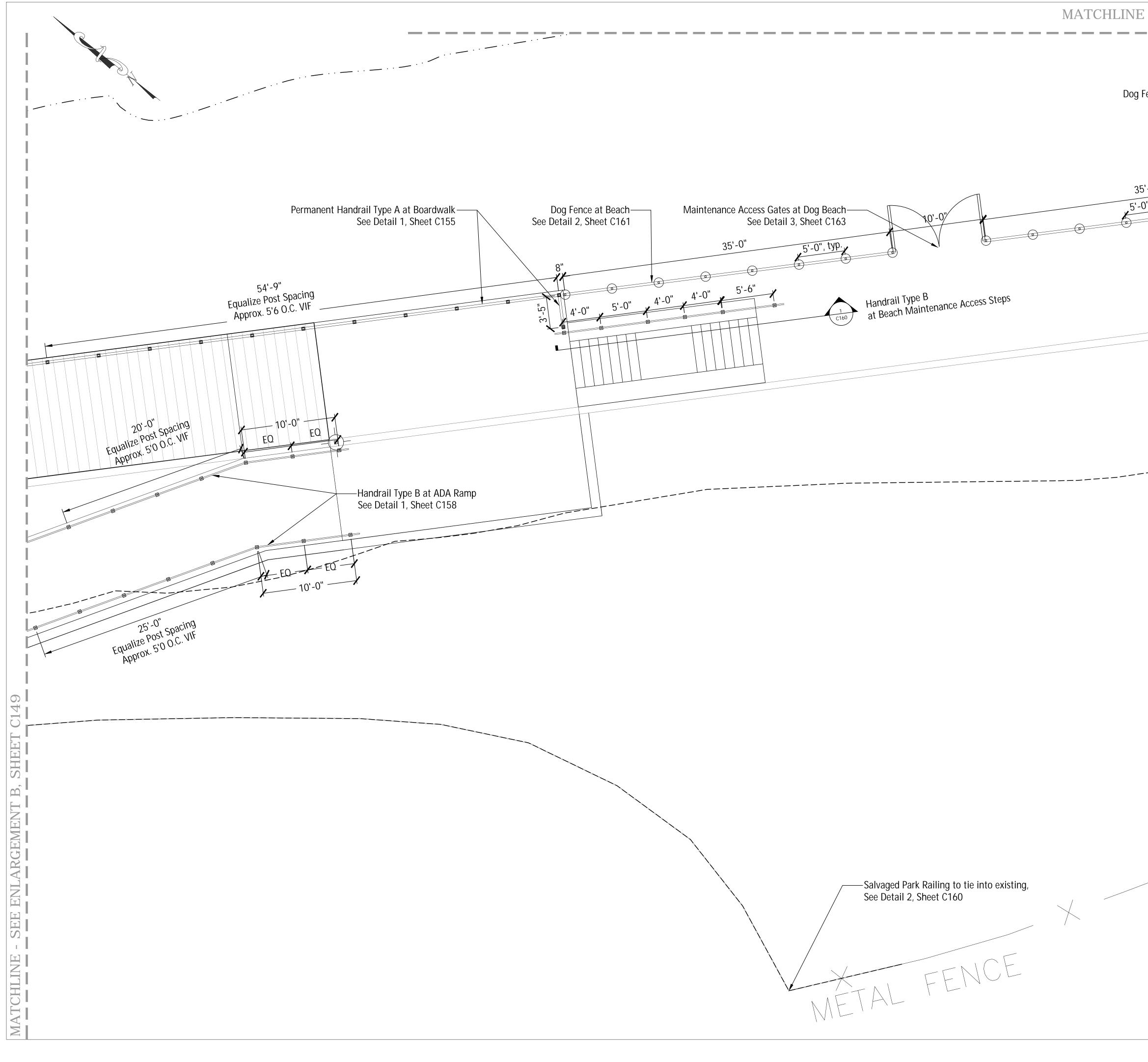
The following notes apply to all handrails, see sheets C155-C160.

- 1. Coordinate with Structural Drawings for framework and footing details.
- 2. All steel components, other than than stainless steel, to be powder coated black. See specifications.
- 3. All welds shall be ground smooth, clean, and as close to straight angles as possible for a clean finished appearance.
- All hardware and fasteners for handrail Type A shall be stainless steel, heads painted black, unless otherwise noted.
- 5. All hardware and fasteners for handrail Type B shall be stainless steel, unless otherwise noted.
- 6. Metal fabricator to determine appropriate anchor bolt depth and indicate in coordinated shop drawings.
- Metal Fabricator to indicate expansion joint locations and splice connections for all permanent handrails (Type A and Type B) and for horizontal bars for the length of dog beach fence where mounted at sheet piling.
- 8. Samples of all metal component finishes to be submitted for review and approval by the Owner's Representative.

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Chicago, Illinois 60601 p 312.467.5445 f 312.467.5484 thelakotagroup.com
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Sheet No.
C147



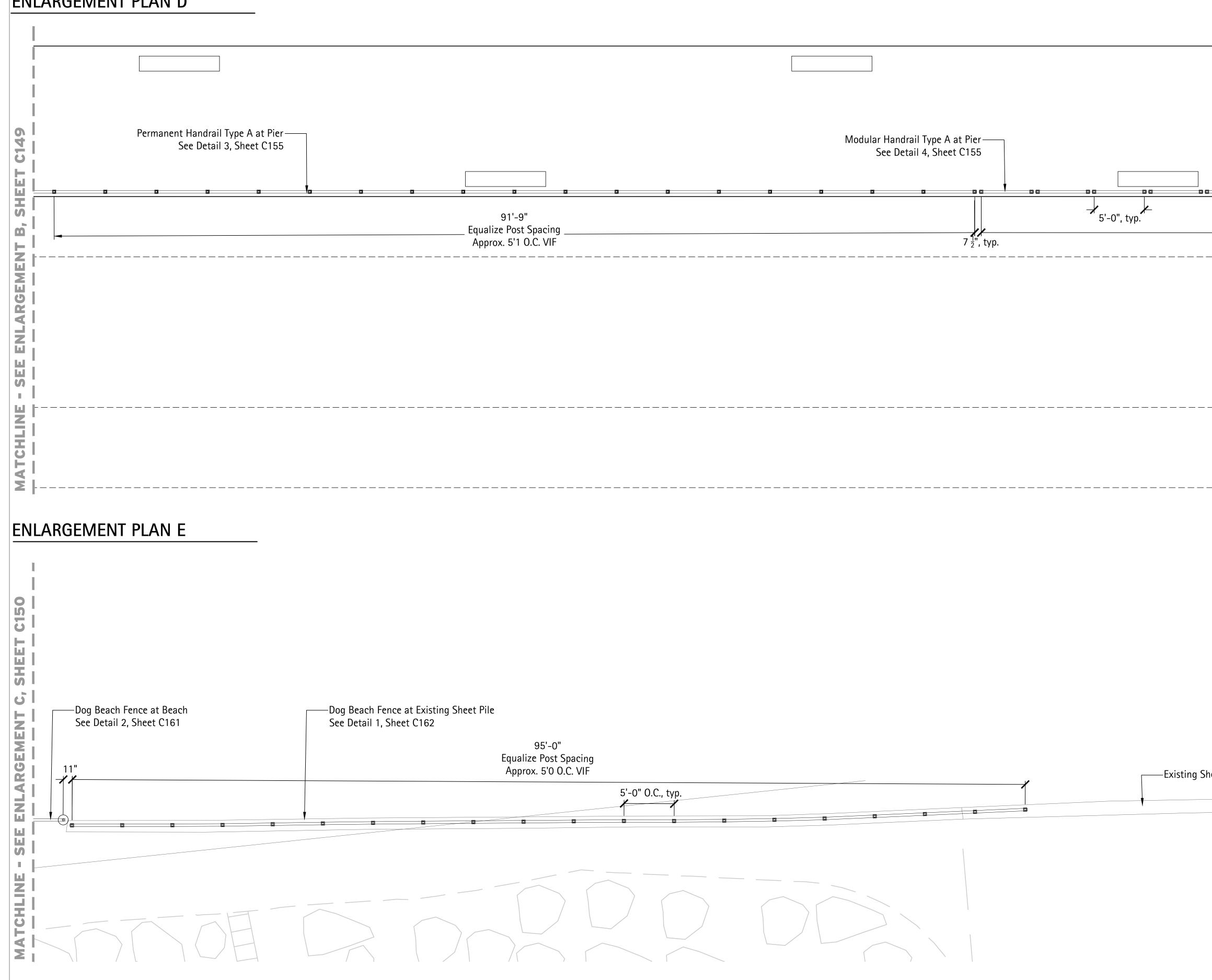




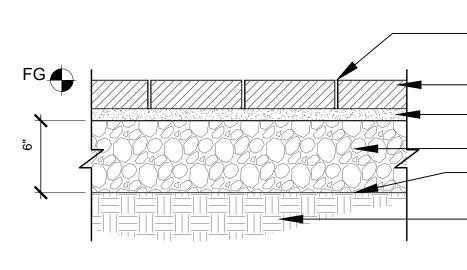
Fence at Existing Sheet Pile See Details, Sheet C162	
5'-0" 0", typ. •	
	X

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Suite 2700 Chicago, Illinois 60601 p 312.467.5445 f 312.467.5484
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Winnetka, IL
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Drawing Title
HANDRAIL AND FENCING ENLARGEMENT PLAN C
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Sheet Pile		HA	( In Feet )	
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Proposed Paver Walk

Scale: 1 1/2" = 1'-0"

-3

Scale: 1" = 5'-0"

- 1/16" TO 3/16" Polymeric sand filled joints. Match existing color

- Set salvaged Existing Concrete pavers, see notes

— 1" Sand leveling bed

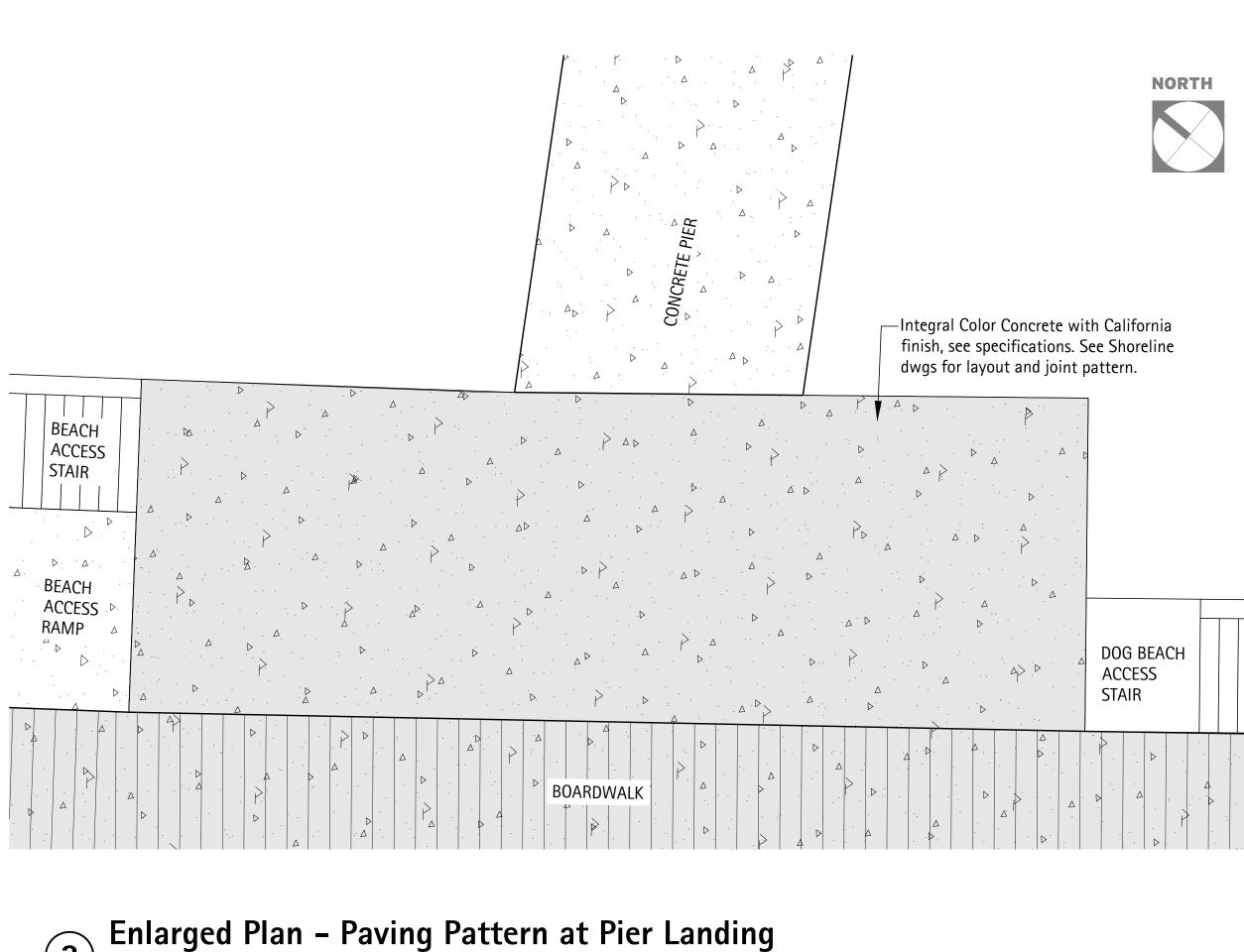
- Compacted aggregate base course, CA6 Geotextile Fabric (continuous beneath all brick pavers)

- Compacted subgrade

### Notes:

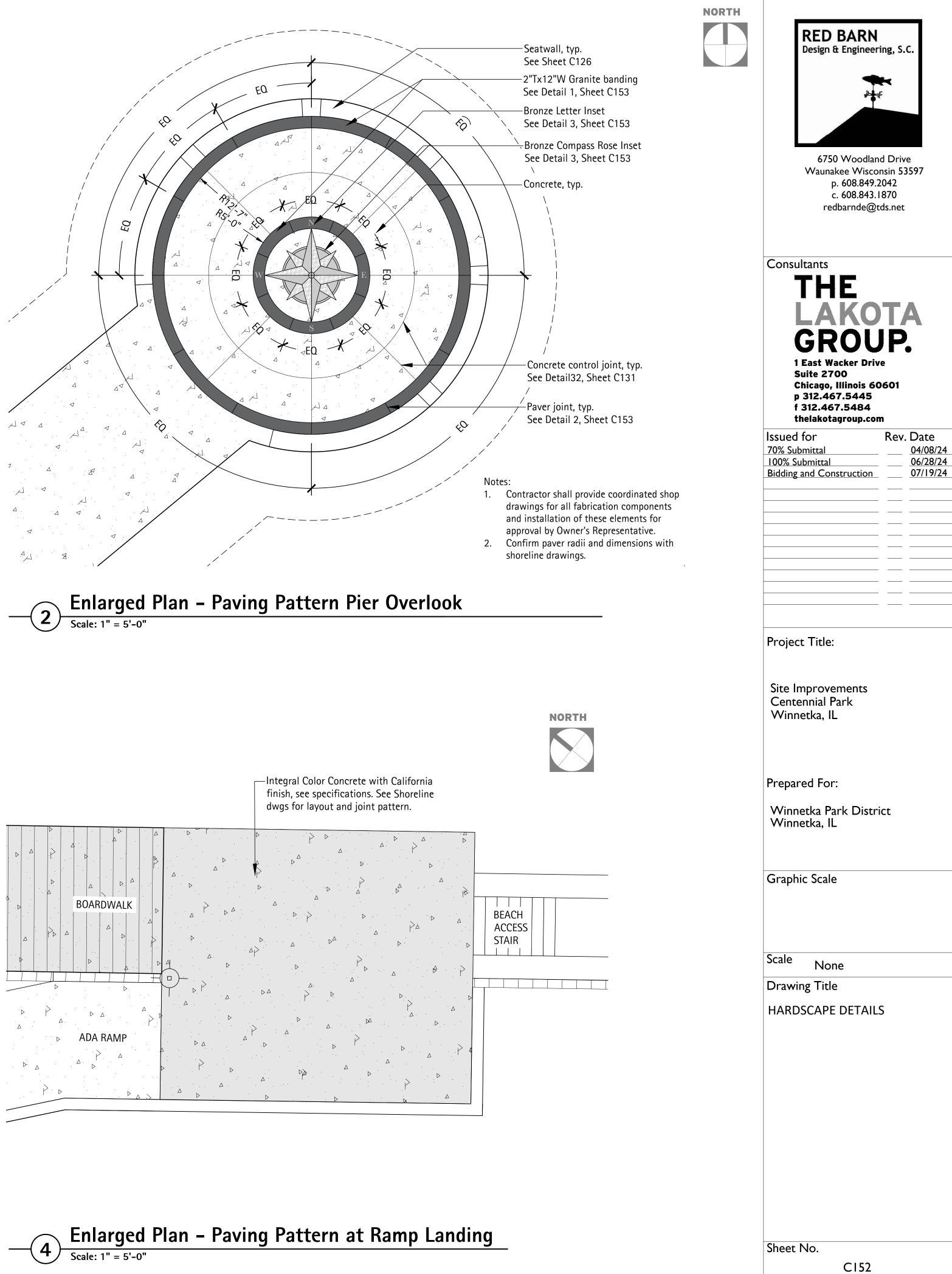
1. Infill paver walkway with salvaged pavers from elsewhere on site. Match herringbone paving pattern with soldier course edging and adjust paver edging as necessary to accommodate new edge of paving.

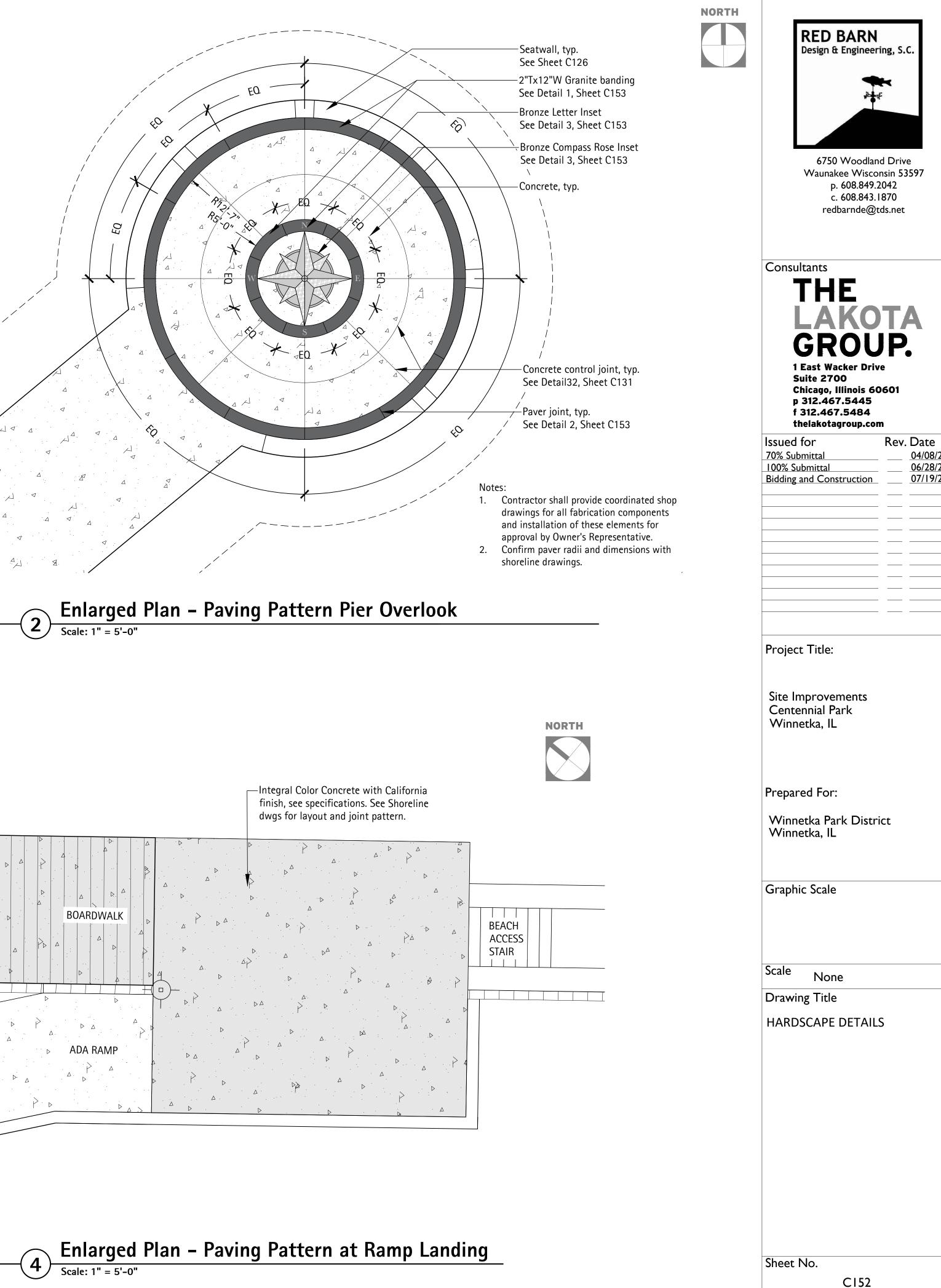
2. CA6 base course and geotextile fabric shall be incidental to paver installation. 3. Engraved Pavers to be stockpiled and relocated at Owner's direction.

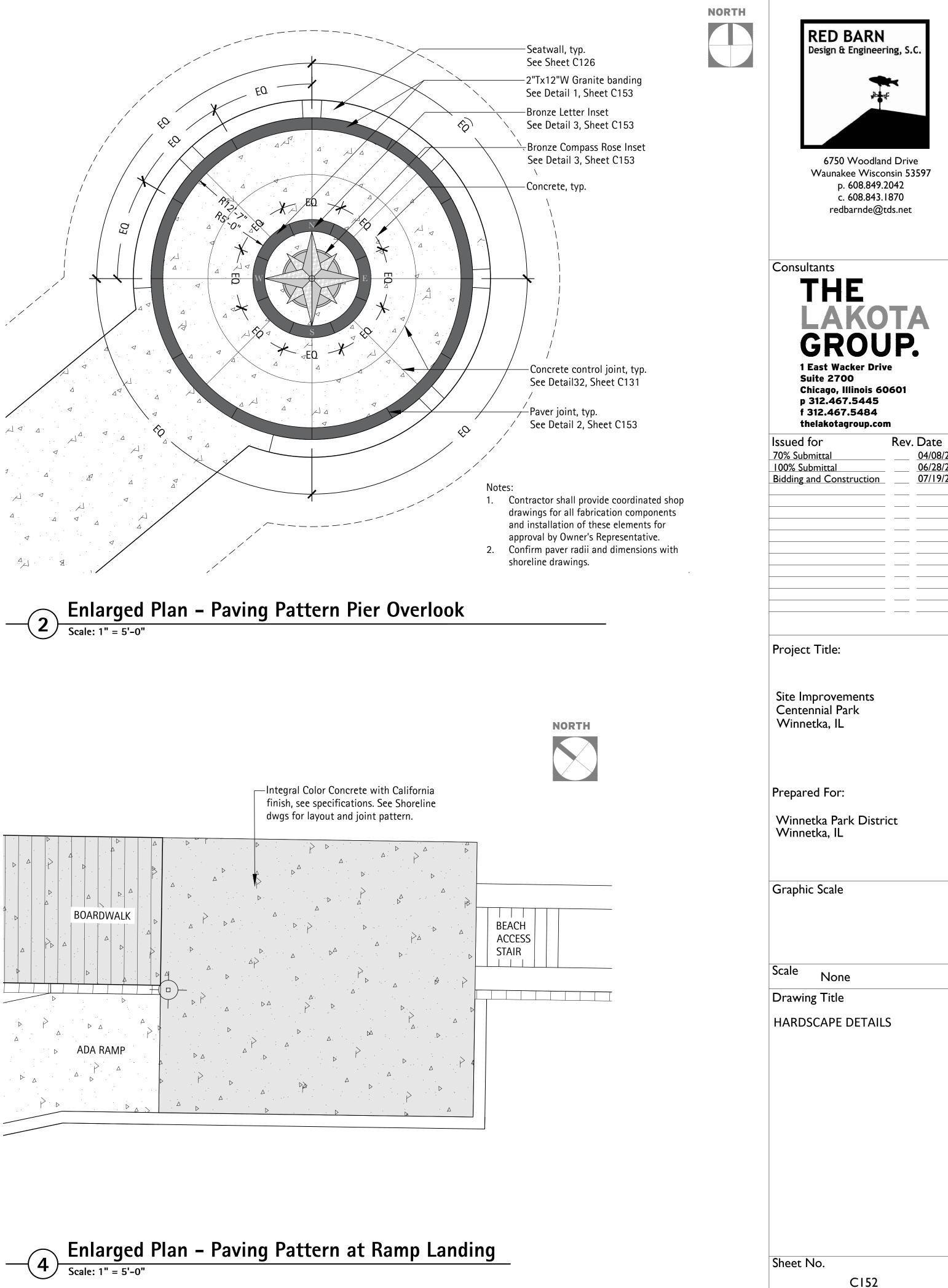


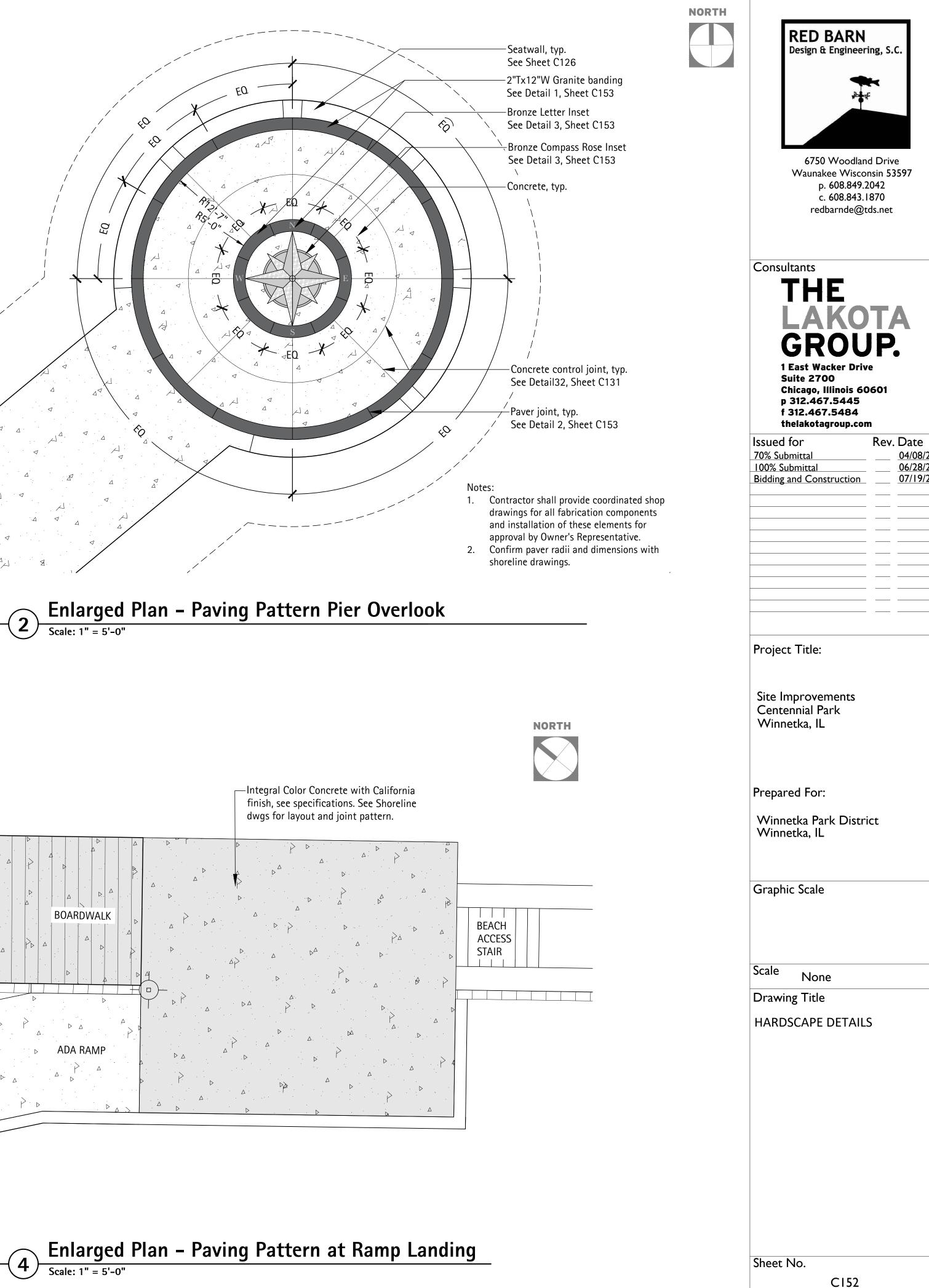
d-unit-paving

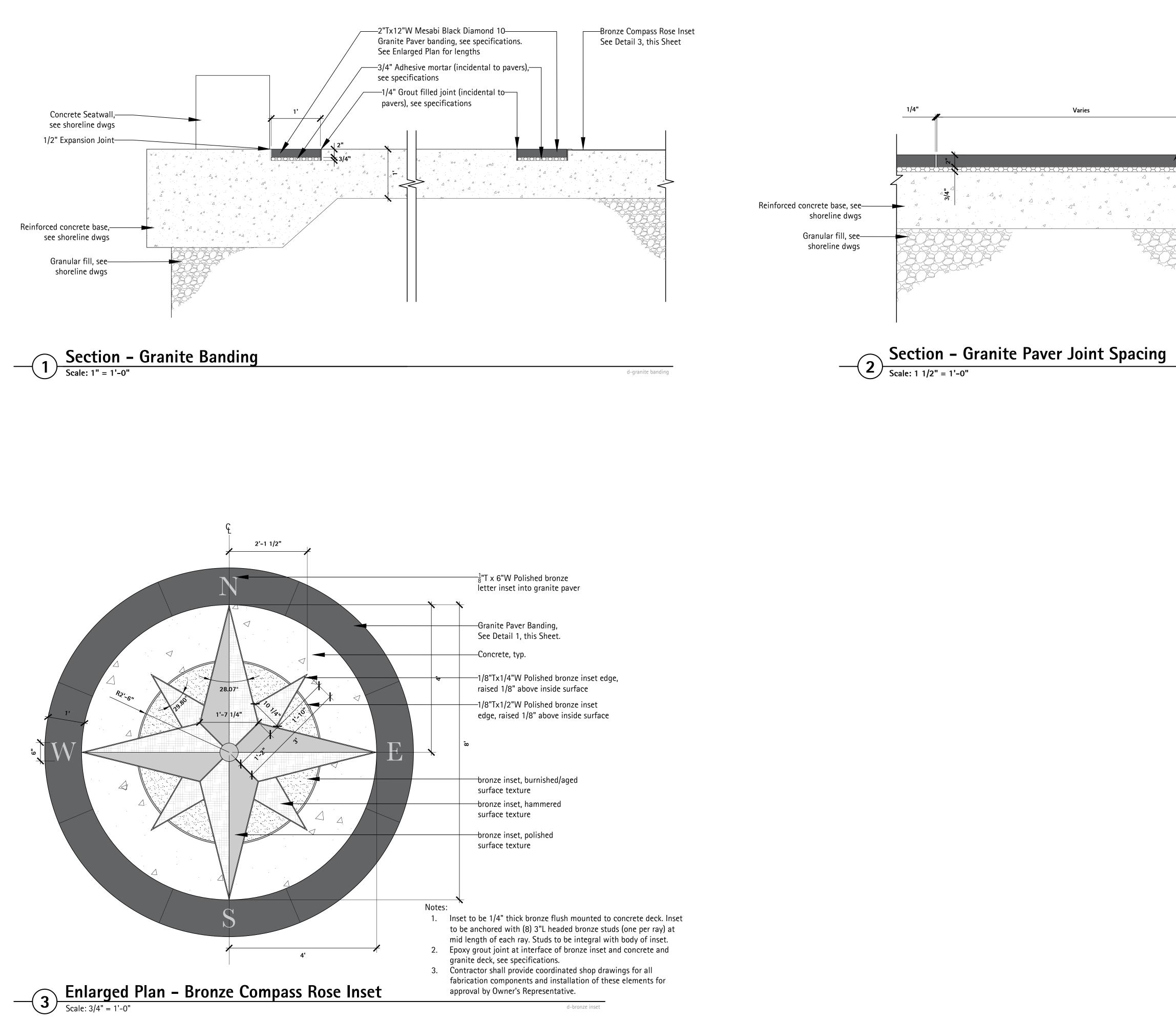












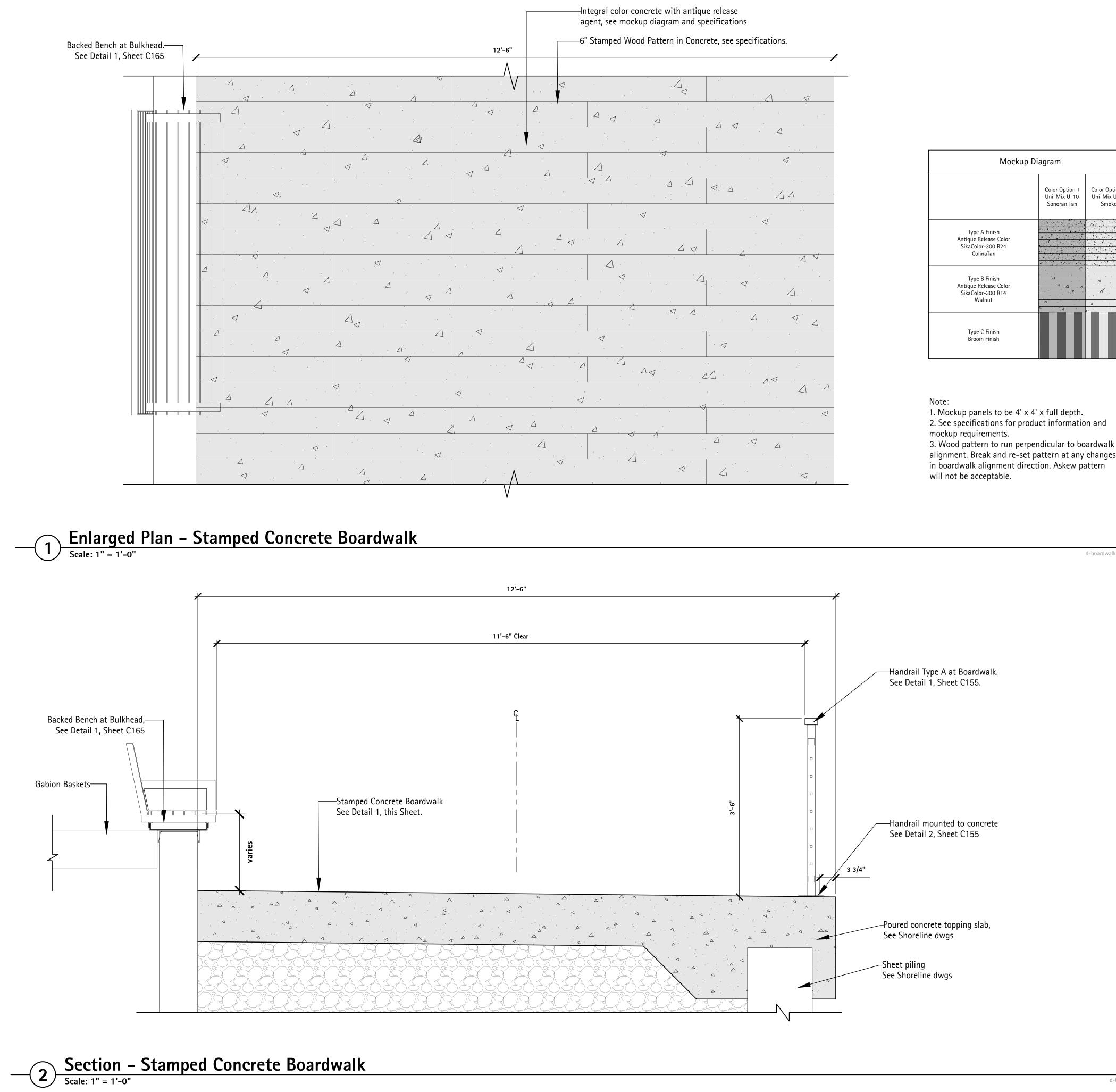
d-file name

-2"Tx12"W Mesabi Black Diamond 10 Granite Paver banding, see specifications. See Enlarged Plan for lengths

——3/4" Adhesive mortar (incidental to pavers), see specifications

—1/4" Grout filled joint (incidental to pavers), see specifications

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Consultants <b>THE</b> <b>LAKO</b> <b>GROU</b> 1 East Wacker Driv Suite 2700 Chicago, Illinois 60 p 312.467.5445 f 312.467.5484 thelakotagroup.com	e 9601	Date
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HARDSCAPE DETAILS	5	
Sheet No. CI53		

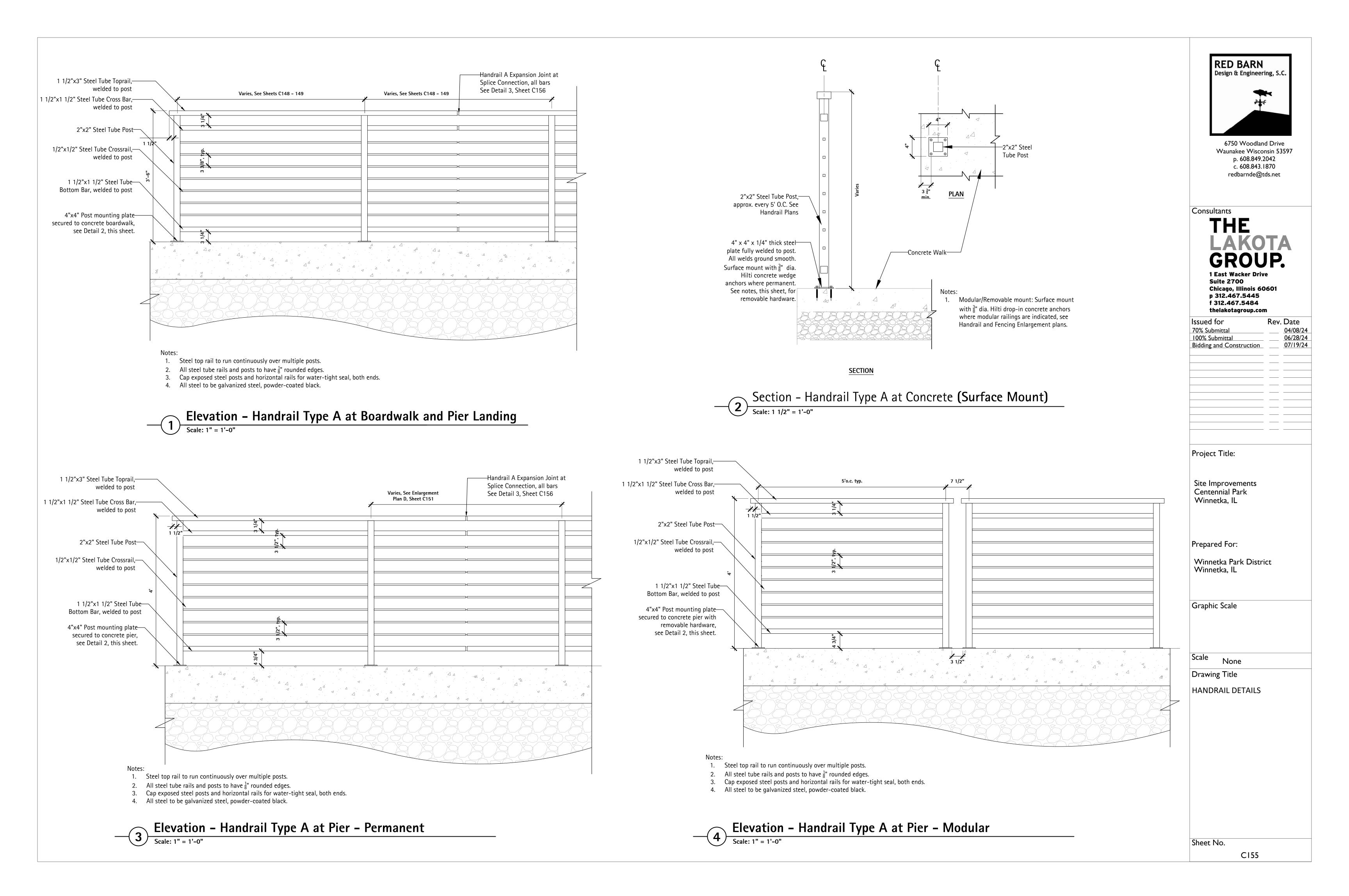


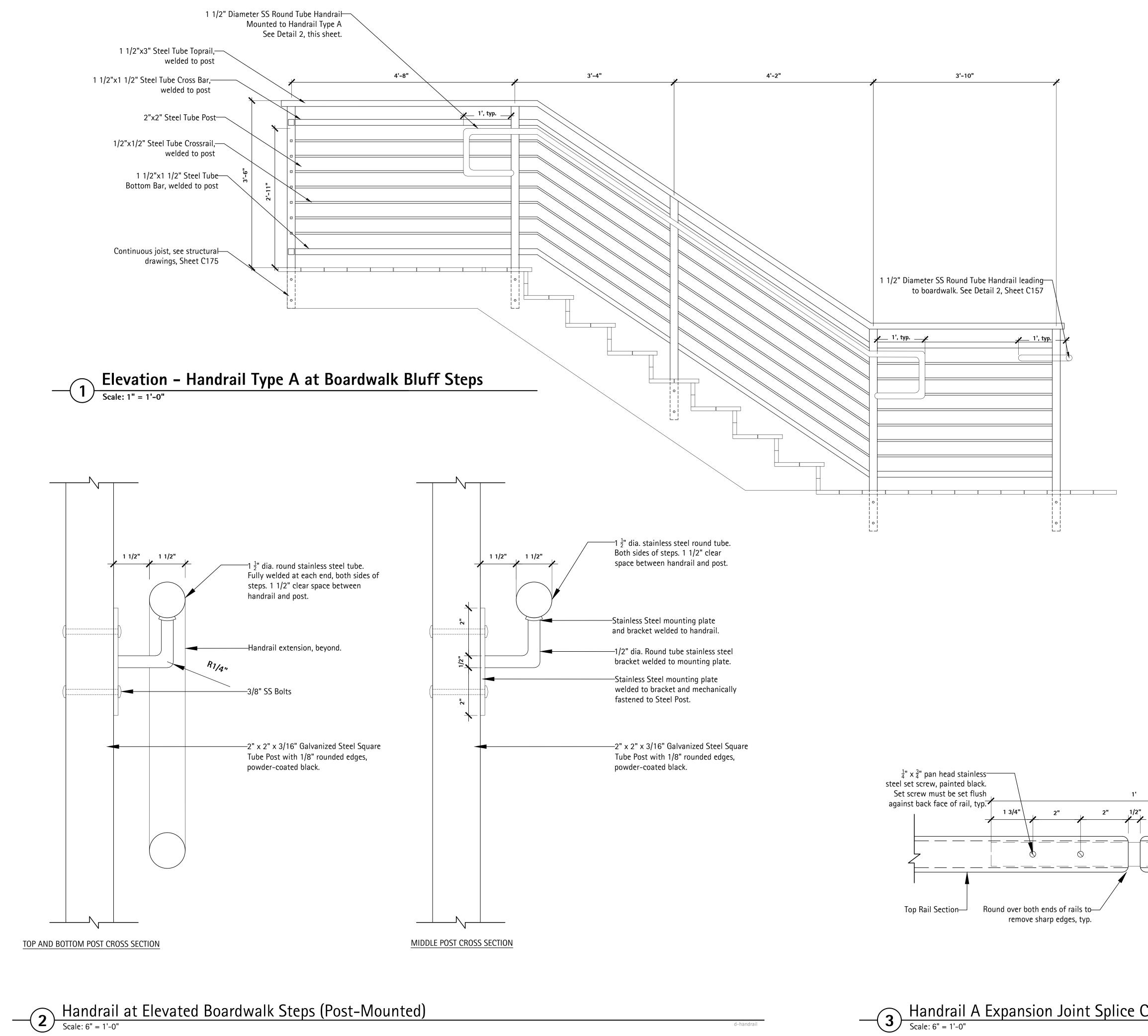
Mockup Di	agram	
	Color Option 1 Uni-Mix U-10 Sonoran Tan	Color Option 2 Uni-Mix U-20 Smoke
Type A Finish Antique Release Color SikaColor-300 R24 ColinaTan		
Type B Finish Antique Release Color SikaColor-300 R14 Walnut		
Type C Finish Broom Finish		

3. Wood pattern to run perpendicular to boardwalk alignment. Break and re-set pattern at any changes in boardwalk alignment direction. Askew pattern will not be acceptable.

d-boardwalk-plan

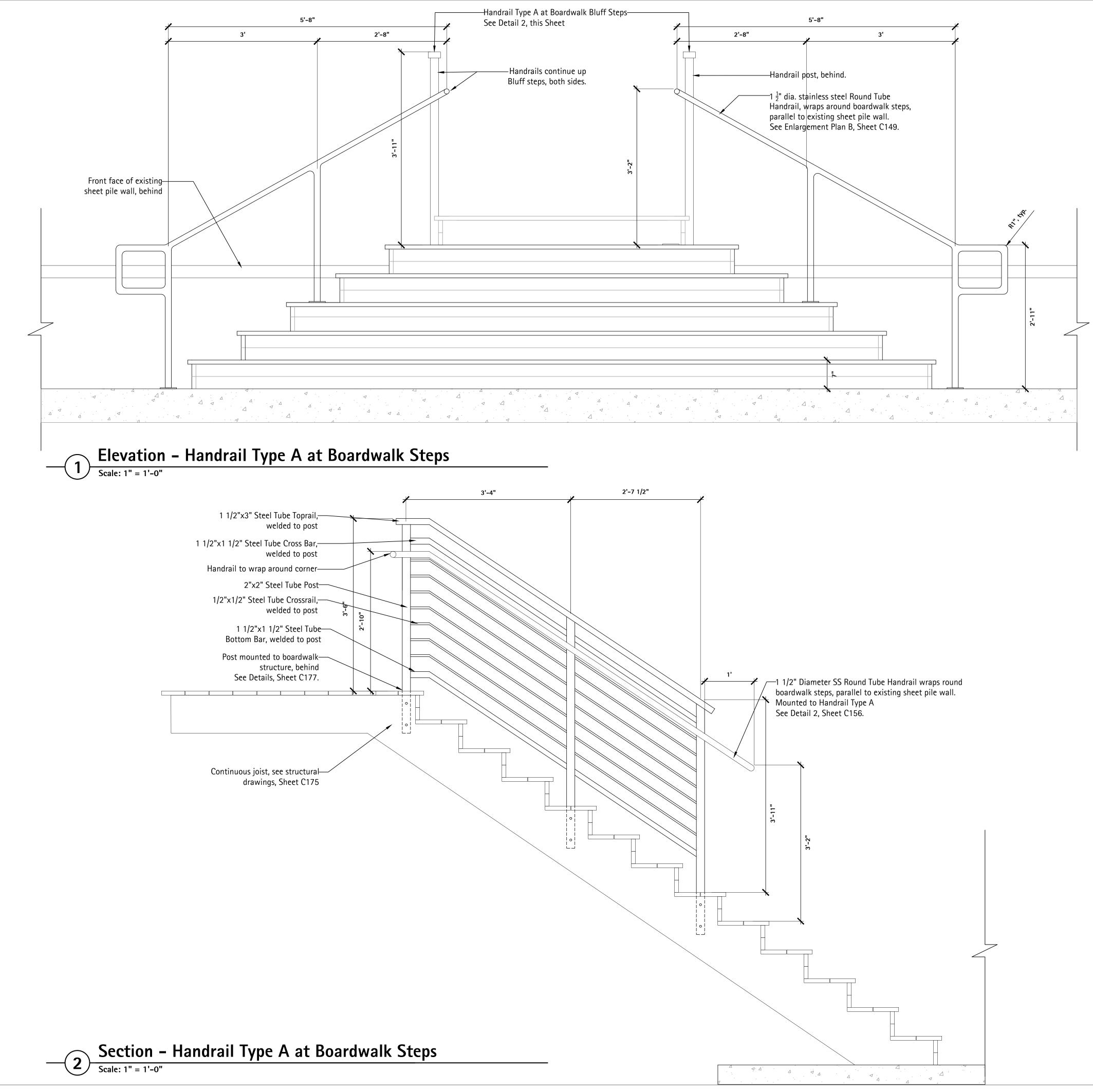
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Graphic Scale
Scale None Drawing Title
BOARDWALK DETAILS
Sheet No. C154



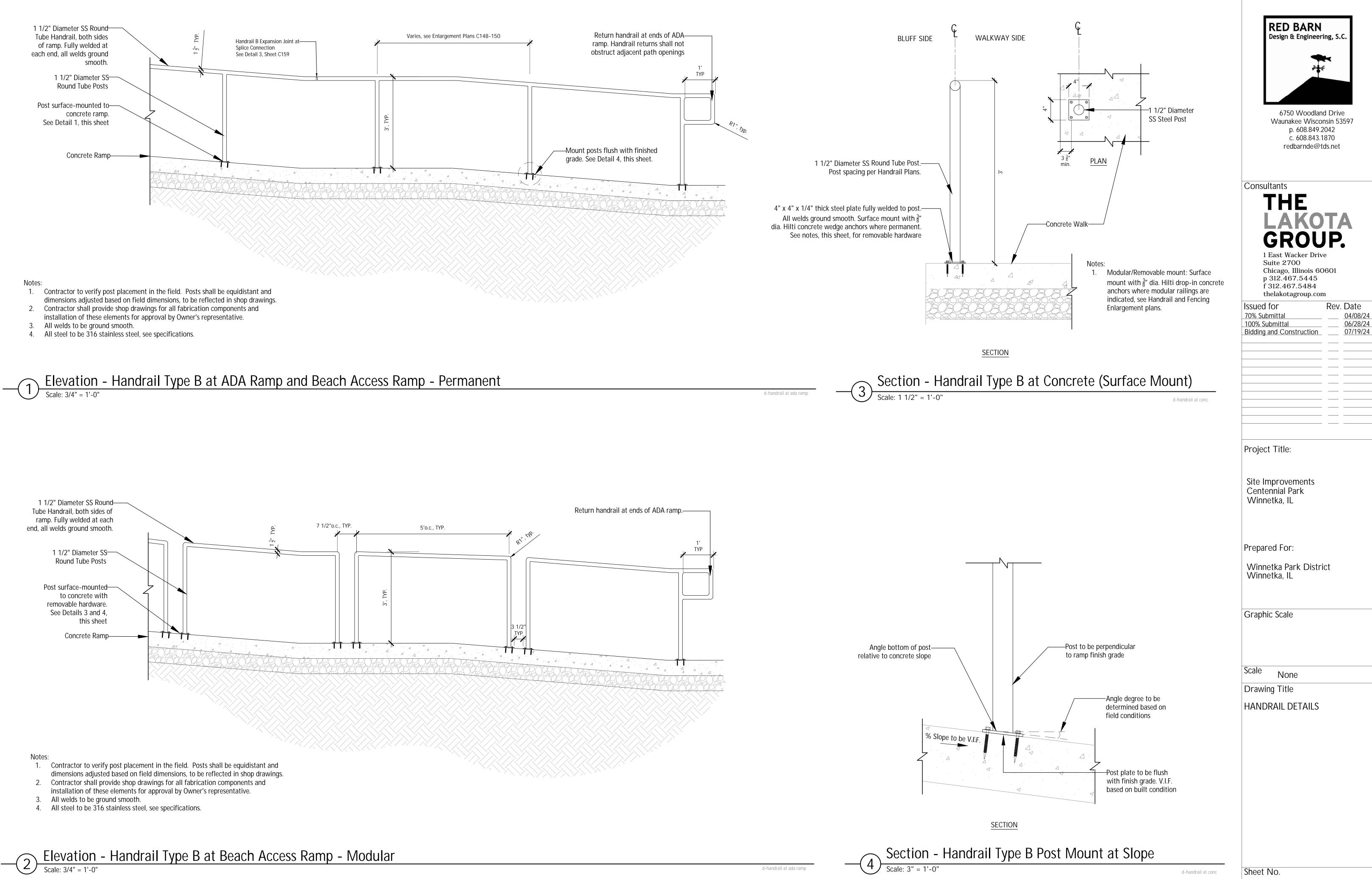


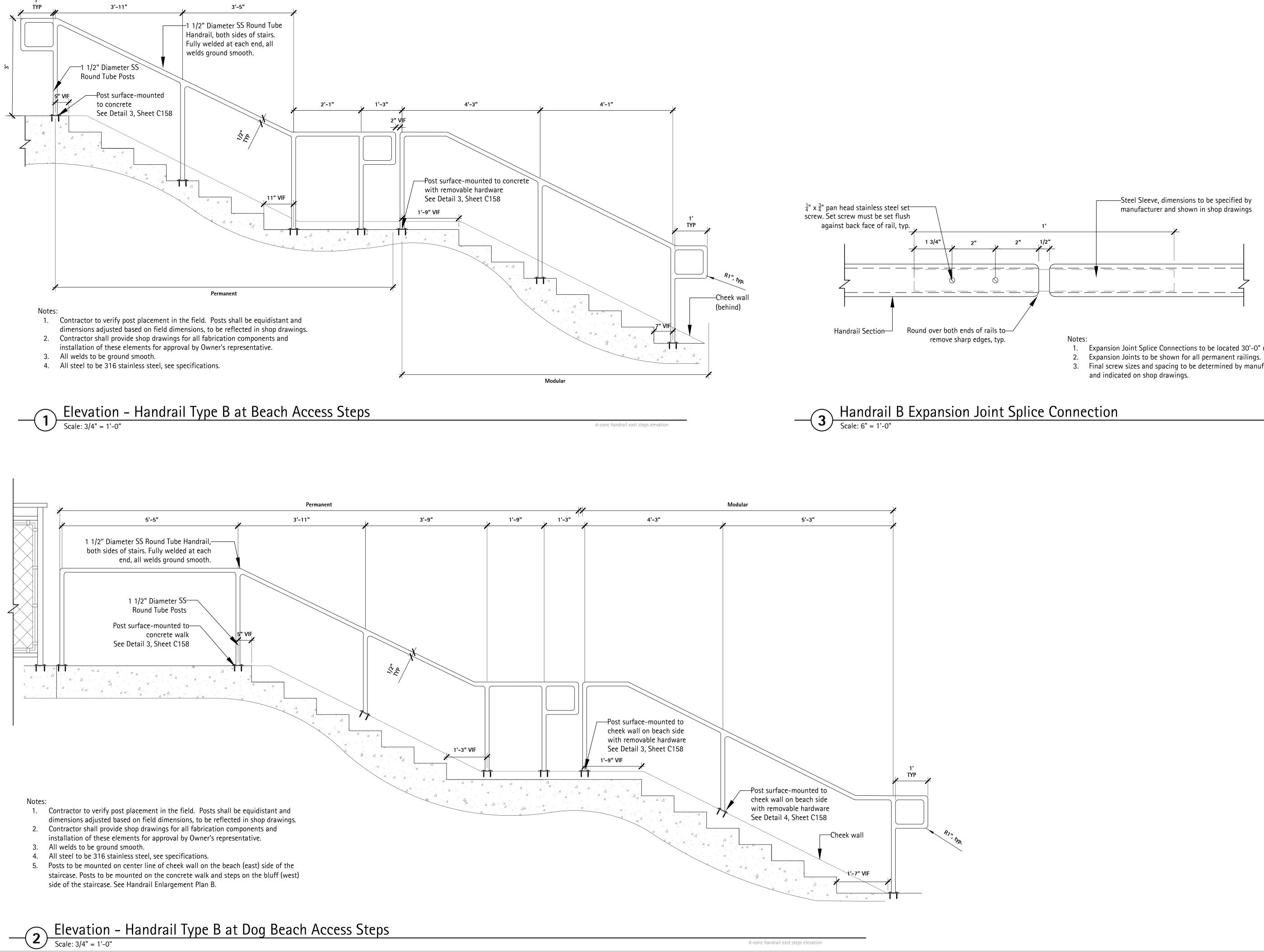
- **3** Handrail A Expansion Joint Splice Connection Scale: 6" = 1'-0"

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	Project Title: Site Improvements Centennial Park Winnetka, IL
	Prepared For: Winnetka Park District Winnetka, IL
	Graphic Scale
Steel Sleeve, dimensions vary by rail size, to be specified by manufacturer and shown in shop drawings	Scale None Drawing Title HANDRAIL DETAILS
<ul> <li>30'-0" max. o.c.</li> <li>Expansion Joints to be shown on all horizontal bars and rails for all permanent railings.</li> <li>Final screw sizes and spacing to vary per rail size, indicate screw sizing and spacing on shop drawings for all horizontal rails on permanent railings.</li> </ul>	
Connection	Sheet No. C156



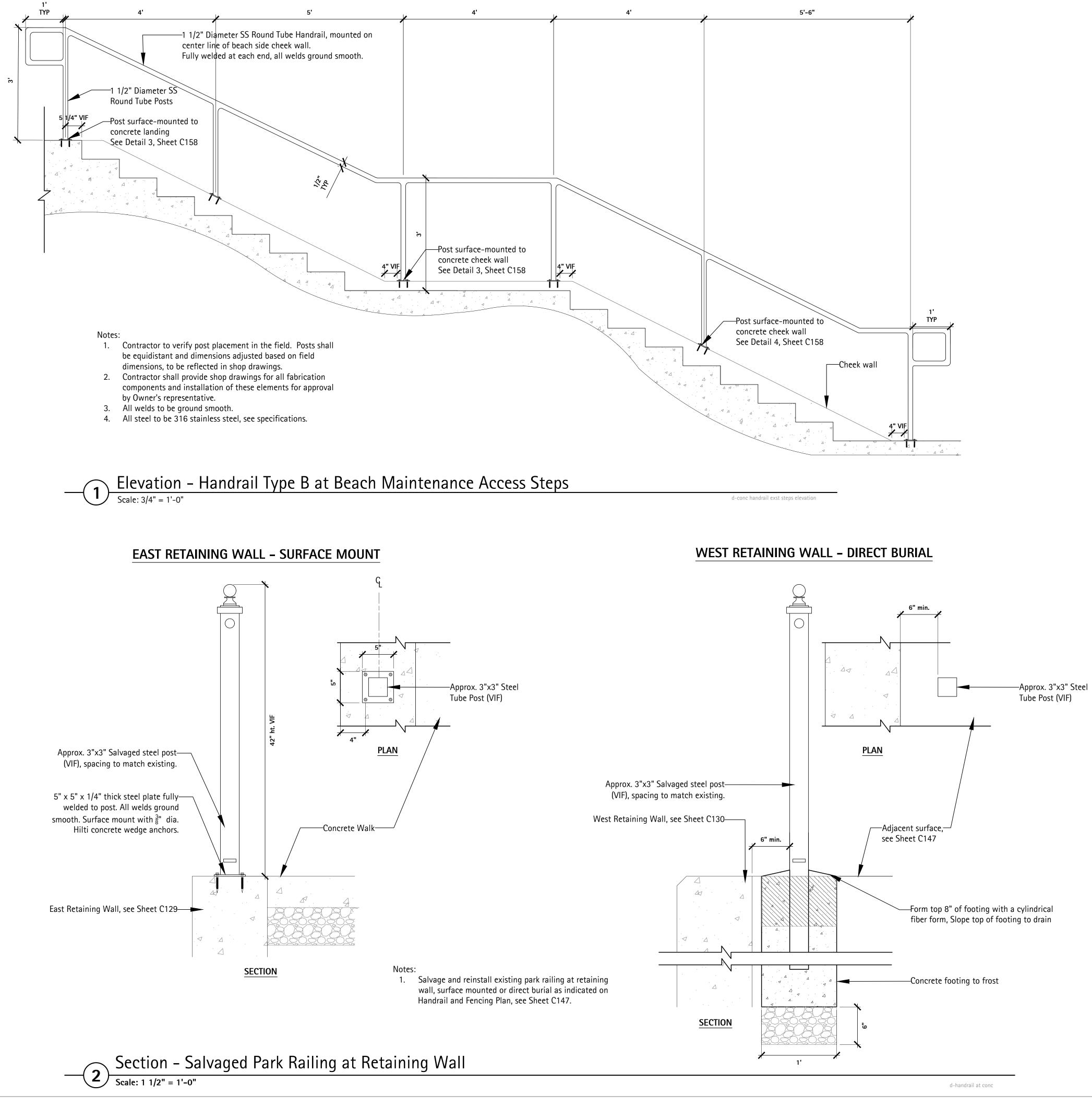
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Project Title:
Site Improvements Centennial Park Winnetka, IL
Prepared For: Winnetka Park District Winnetka, IL
Graphic Scale Scale
Drawing Title
HANDRAIL DETAILS
Sheet No. CI57



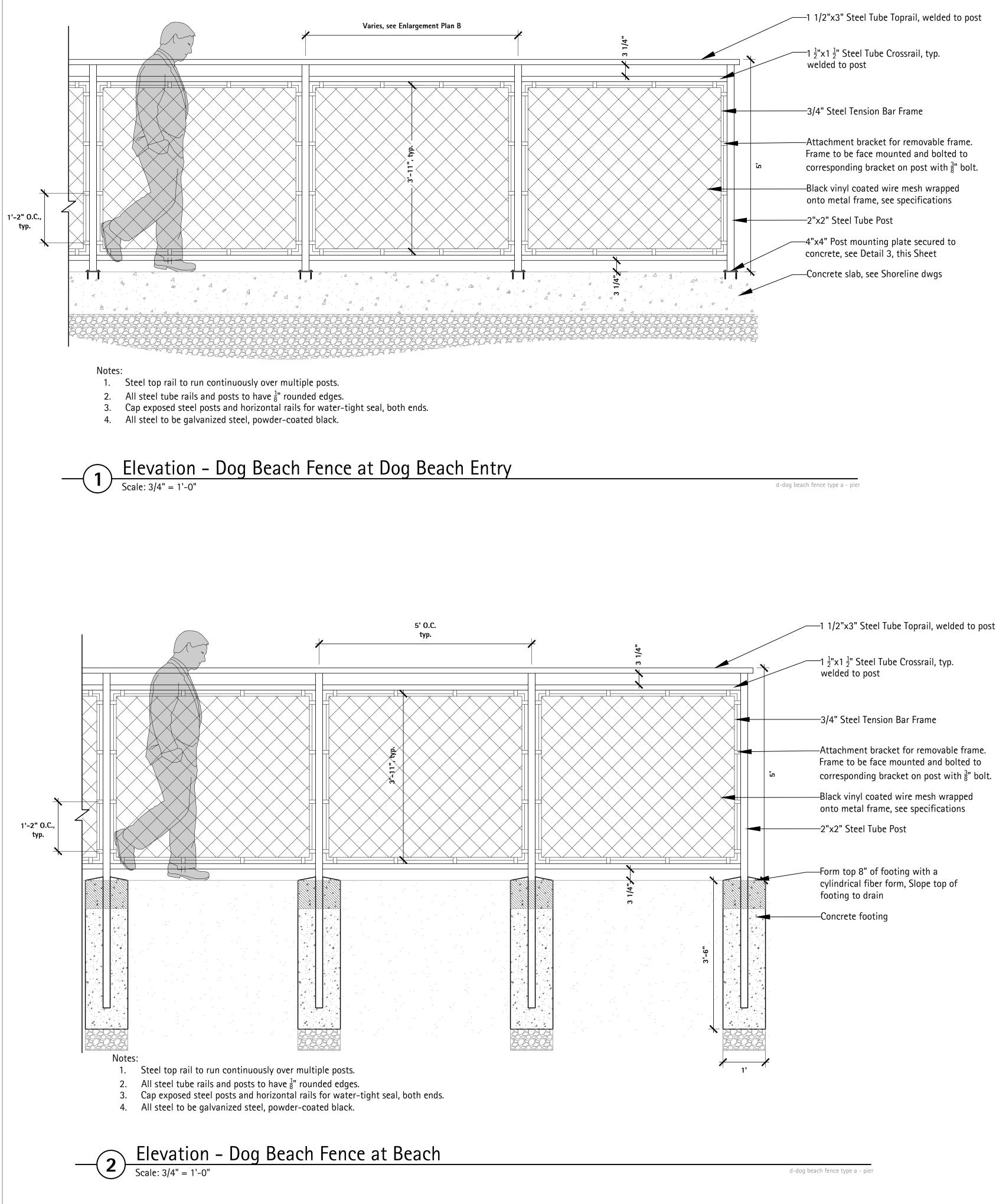


- 1. Expansion Joint Splice Connections to be located 30'-0" max. o.c.
- 3. Final screw sizes and spacing to be determined by manufacturer

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	Scale Drawing Title HANDRAIL DETAILS	
C160	Sheet No. C160	



-1 1/2"x3" Steel Tube Toprail, welded to post

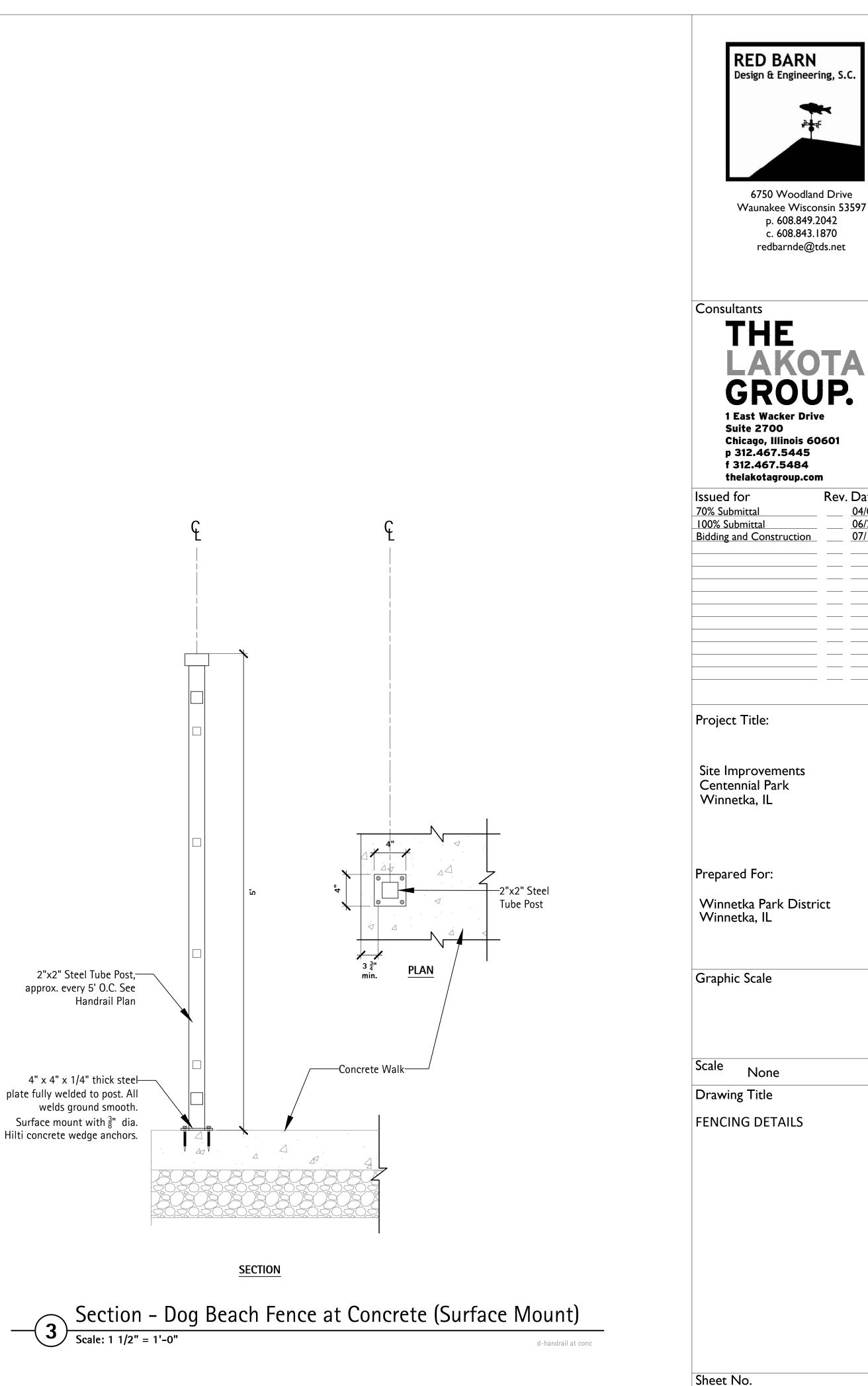
-Attachment bracket for removable frame. Frame to be face mounted and bolted to corresponding bracket on post with  $\frac{3}{8}$ " bolt.

onto metal frame, see specifications

-4"x4" Post mounting plate secured to

---Concrete slab, see Shoreline dwgs

2"x2" Steel Tube Post, approx. every 5' O.C. See Handrail Plan 4" x 4" x 1/4" thick steel----plate fully welded to post. All welds ground smooth. Surface mount with  $\frac{3}{8}$ " dia. Hilti concrete wedge anchors.

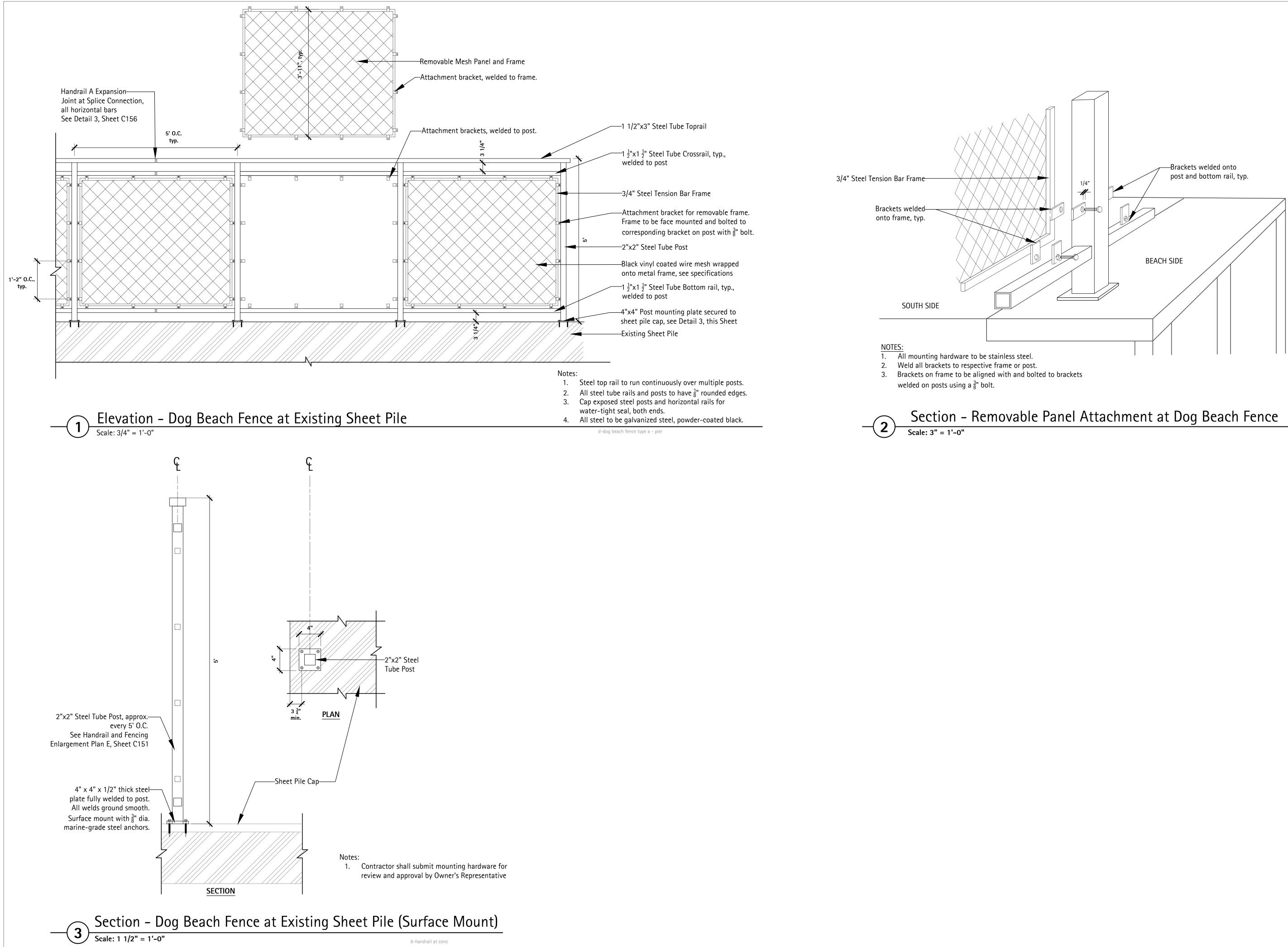


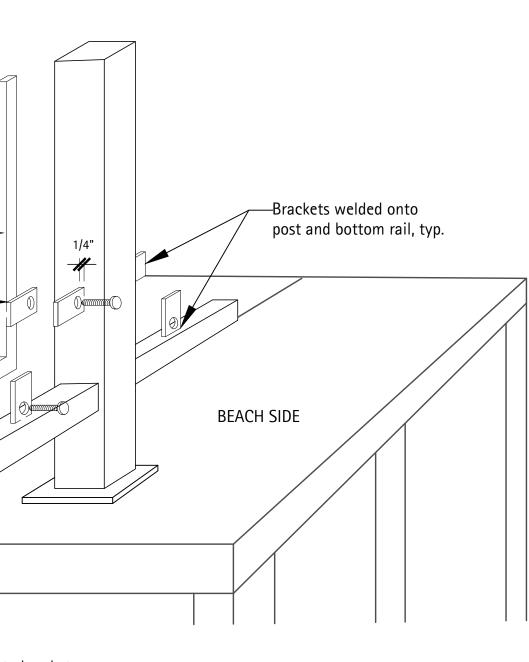
Rev. Date

04/08/24

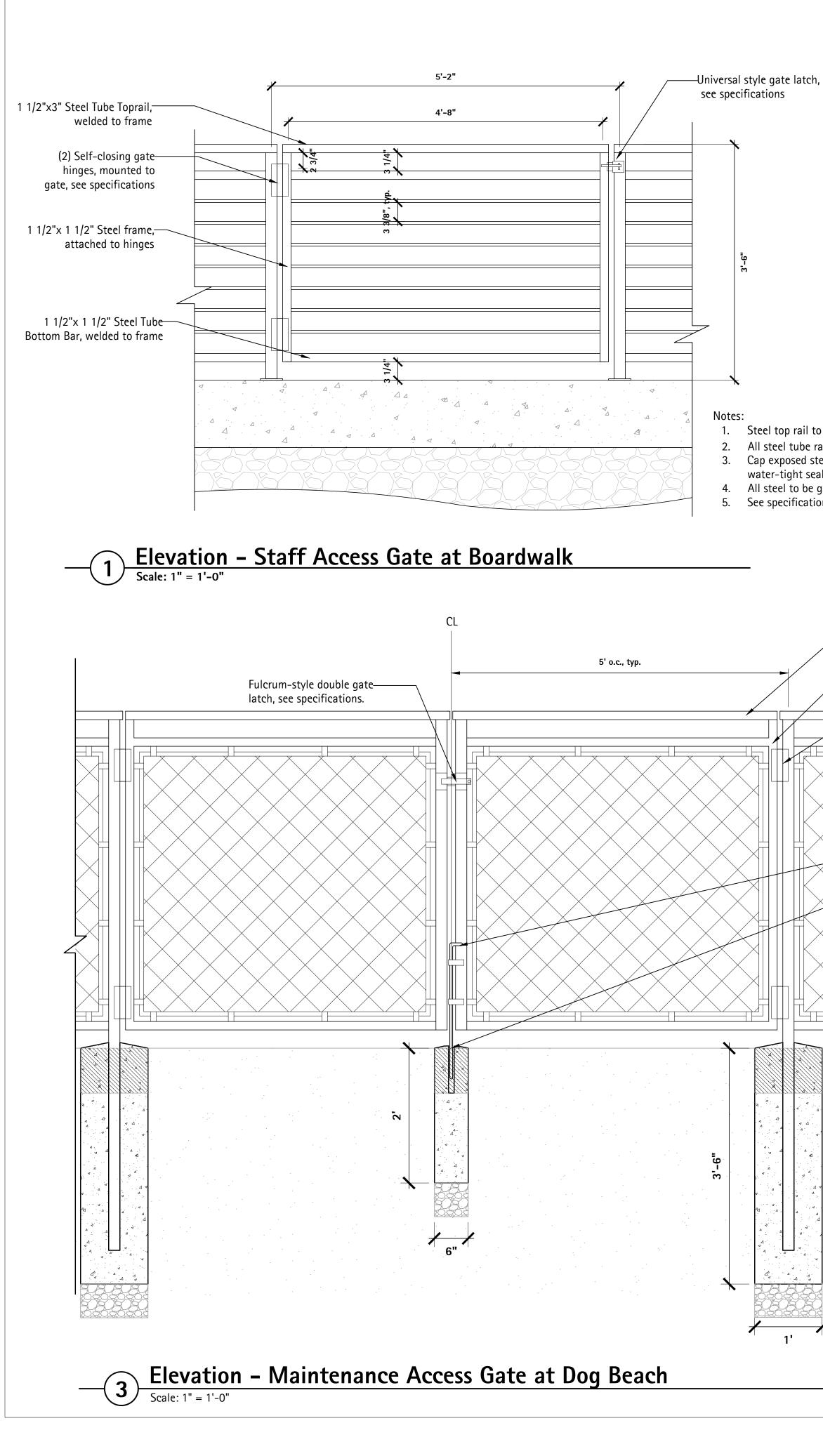
06/28/24

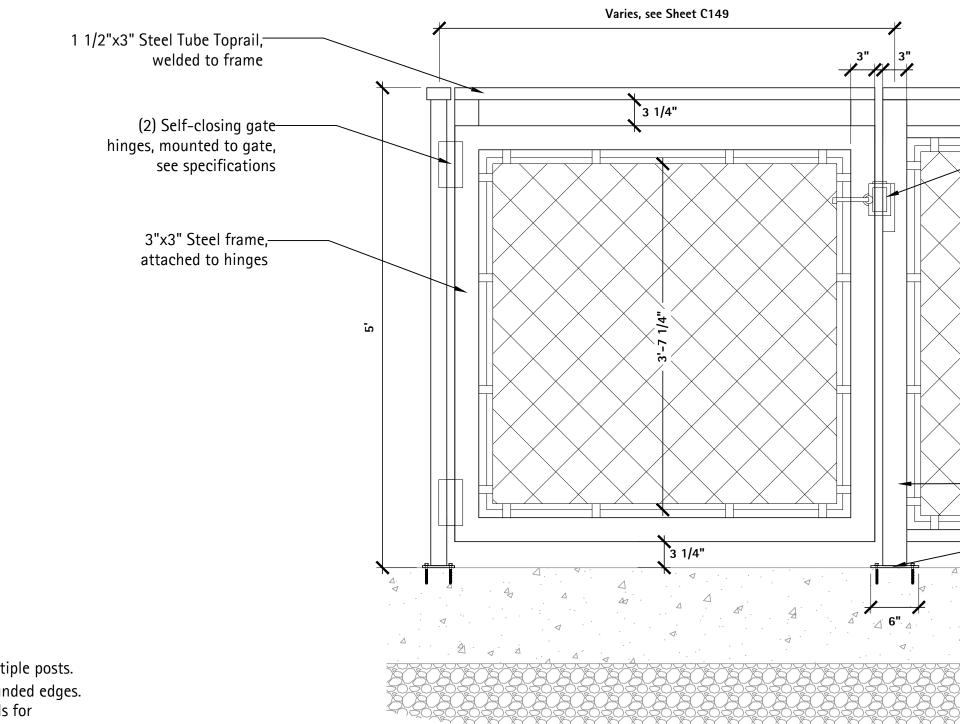
07/19/24





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CI62		





1. Steel top rail to run continuously over multiple posts. 2. All steel tube rails and posts to have  $\frac{1}{8}$ " rounded edges. 3. Cap exposed steel posts and horizontal rails for

4. All steel to be galvanized steel, powder-coated black.
5. See specifications for hinges and latch.

-1 1/2"x3" Steel Tube Toprail,

-Drop bar receiver set into concrete

footing, see specifications

welded to frame

 $-1\frac{1}{2}$ " x  $1\frac{1}{2}$ " Steel frame,

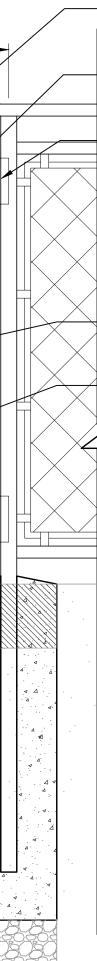
attached to hinges

-(2) Self-closing gate hinges, mounted to gate, see specifications

—Drop bar

Notes:

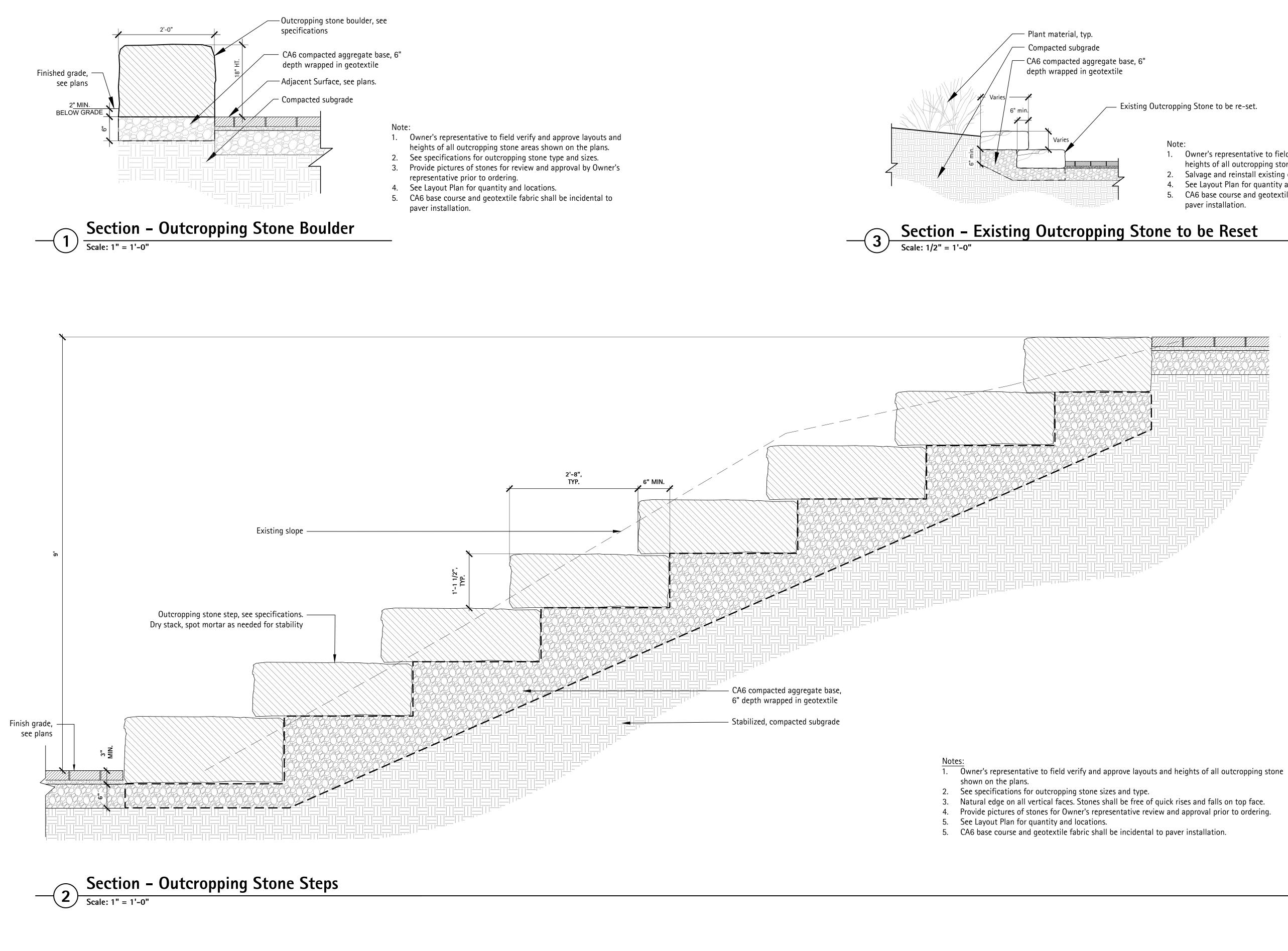


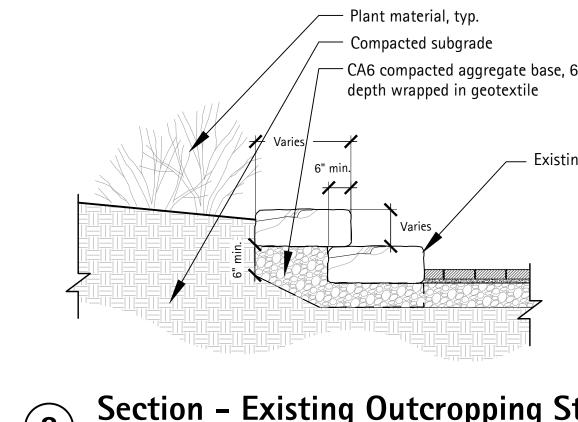


- 1. Steel top rail to run continuously over multiple posts.
- All steel tube rails and posts to have <sup>1</sup>/<sub>8</sub> rounded edges.
   Cap exposed steel posts and horizontal rails for water-tight seal, both ends.
- All steel to be galvanized steel, powder-coated black.
   See specifications for hinges and latch.

	—Electronic secured entry at outer dog beach gate only, see electrical plans. See note #1.
>	——3"x3" Steel Tube Post at Gate(s) ——6"x6" Mounting Plate
Notes: 1. 2. 3. 4. 5.	

RED BARN Design & Engineering, S.C.
<b>₩</b> ₩ #
6750 Woodland Drive Waunakee Wisconsin 53597 p. 608.849.2042 c. 608.843.1870 redbarnde@tds.net
Consultants <b>THE</b> <b>LAKOTA</b> <b>GROUP</b> 1 East Wacker Drive Suite 2700 Chicago, Illinois 60601 p 312.467.5484
thelakotagroup.com
0% Submittal 04/08/24
00% Submittal         06/28/24           idding and Construction         07/19/24
roject Title:
Site Improvements Centennial Park Winnetka, IL
repared For:
Winnetka Park District
Winnetka, IL
Graphic Scale
cale None
Prawing Title
GATE DETAILS
heet No. C163





— Existing Outcropping Stone to be re-set.

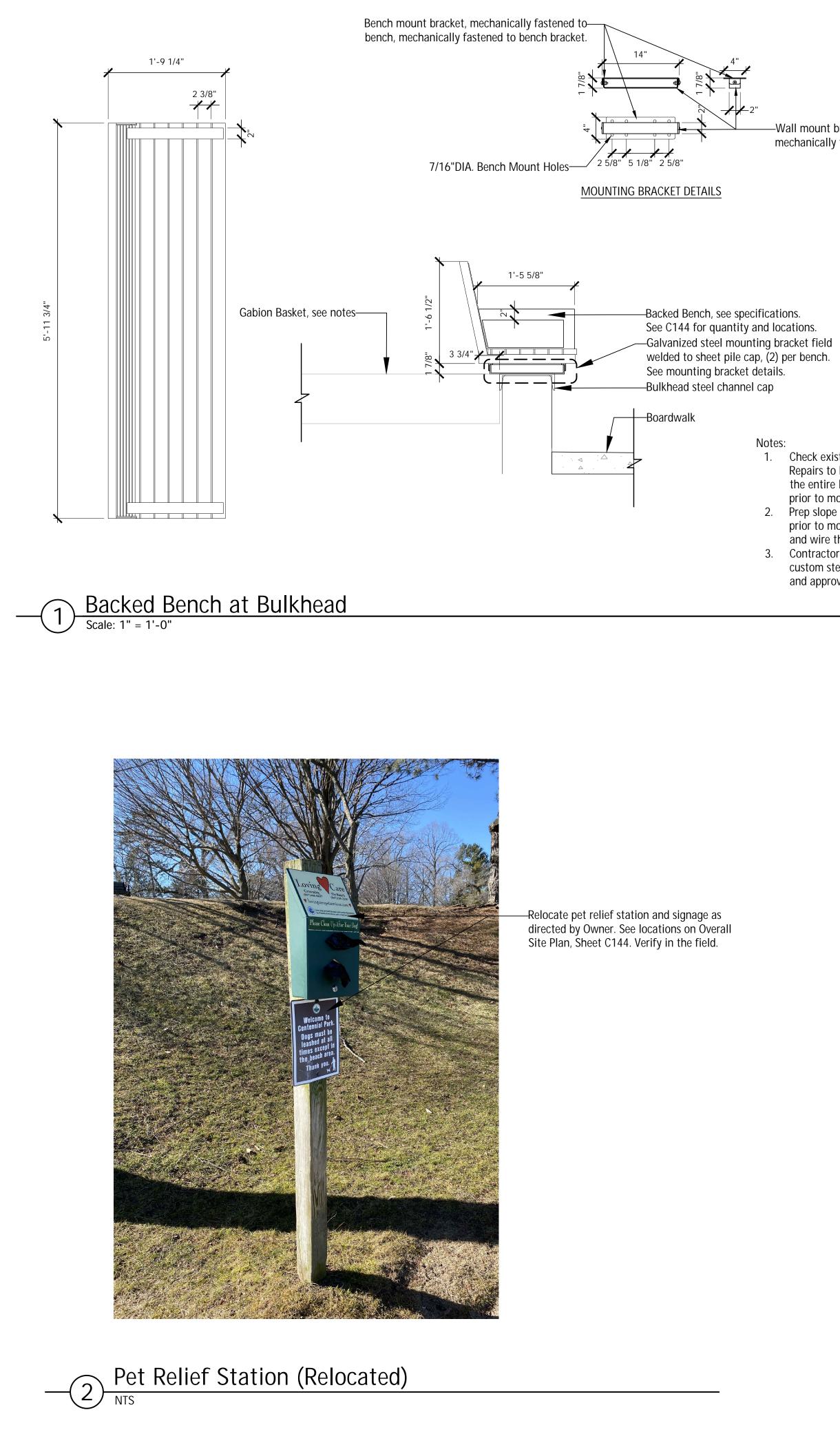
### Note:

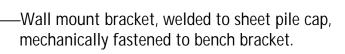
- 1. Owner's representative to field verify and approve layouts and heights of all outcropping stone areas shown on the plans.
- 2. Salvage and reinstall existing outcropping stone.
- 4. See Layout Plan for quantity and locations.
- 5. CA6 base course and geotextile fabric shall be incidental to paver installation.

d-stone-outcroppings-sec

TS

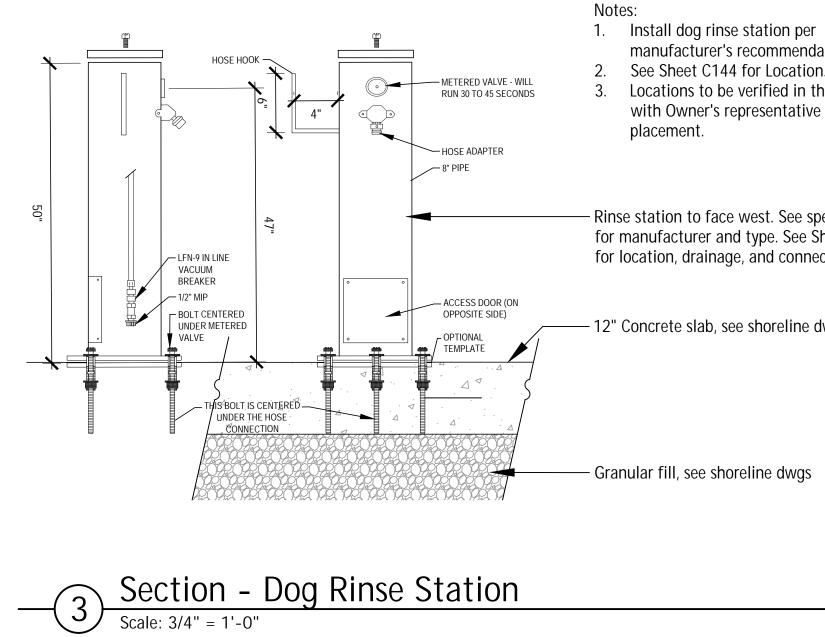
RED BARN Design & Engineering, S.C.
A CONTRACT OF CONTRACT.
6750 Woodland Drive Waunakee Wisconsin 53597 p. 608.849.2042 c. 608.843.1870 redbarnde@tds.net
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100% Submittal         06/28/24           Bidding and Construction         07/19/24
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Prepared For:
Winnetka Park District Winnetka, IL
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Scale None
Drawing Title
FURNISHINGS
Sheet No. C164

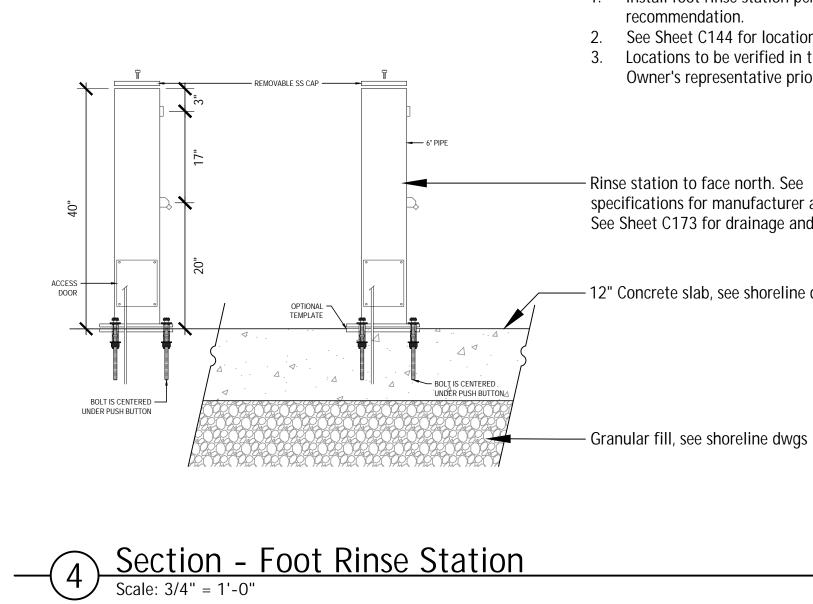




### Notes:

- 1. Check existing channel cap for damage. Repairs to be fully welded in the field for the entire length of the bench top location prior to mounting the bench bracket.2. Prep slope behind the bench top locations
- prior to mounting. Remove debris, roots,
- and wire that may conflict with bench top.
  Contractor to submit shop drawings for custom steel mounting bracket for review and approval by Owner's Representative.





manufacturer's recommendation. See Sheet C144 for Location. Locations to be verified in the field with Owner's representative prior to

 Rinse station to face west. See specifications for manufacturer and type. See Sheet C173 for location, drainage, and connection.

– 12" Concrete slab, see shoreline dwgs

1. Install foot rinse station per manufacturer's 2. See Sheet C144 for location.

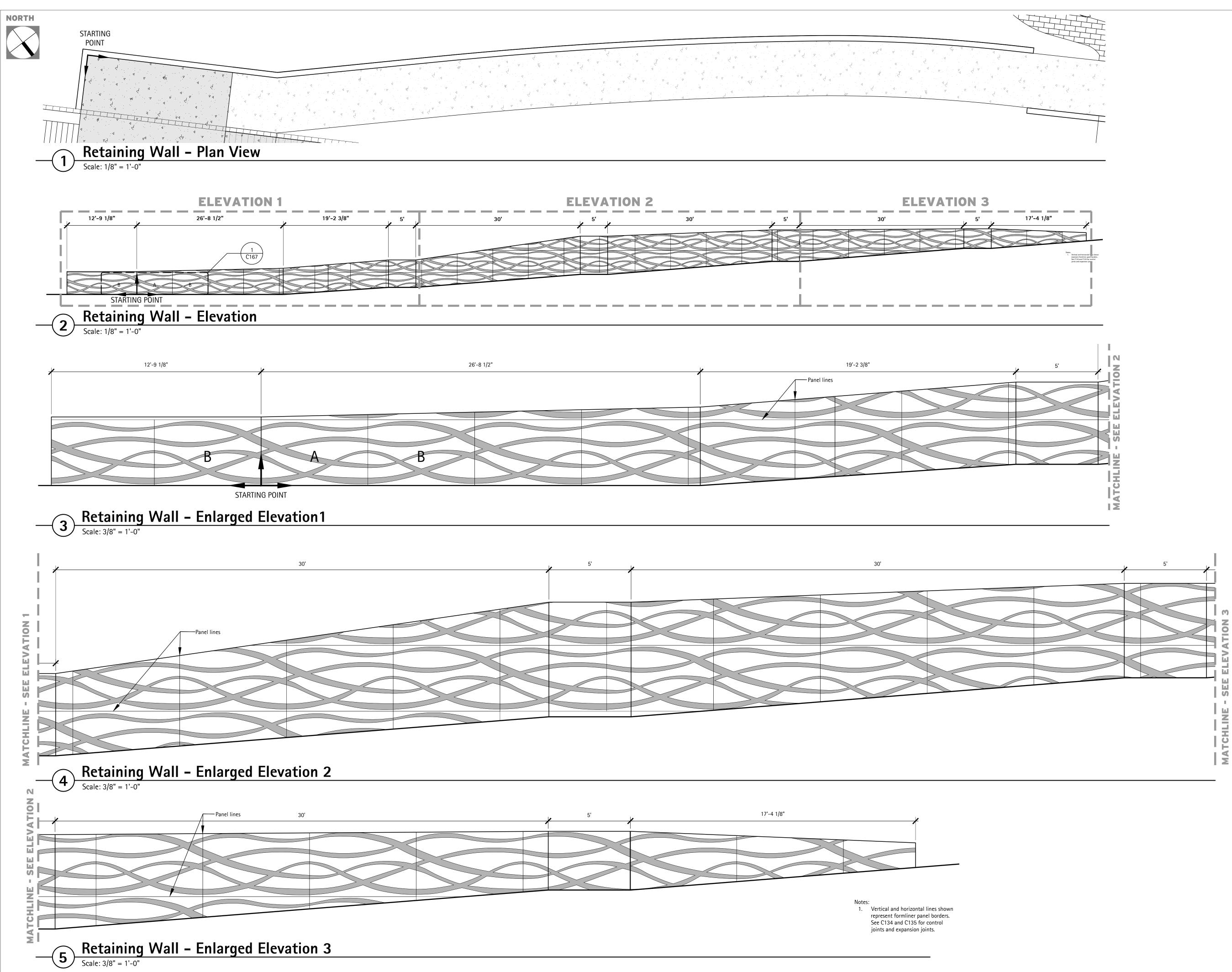
Notes:

3. Locations to be verified in the field with Owner's representative prior to placement.

- Rinse station to face north. See specifications for manufacturer and type. See Sheet C173 for drainage and connection.

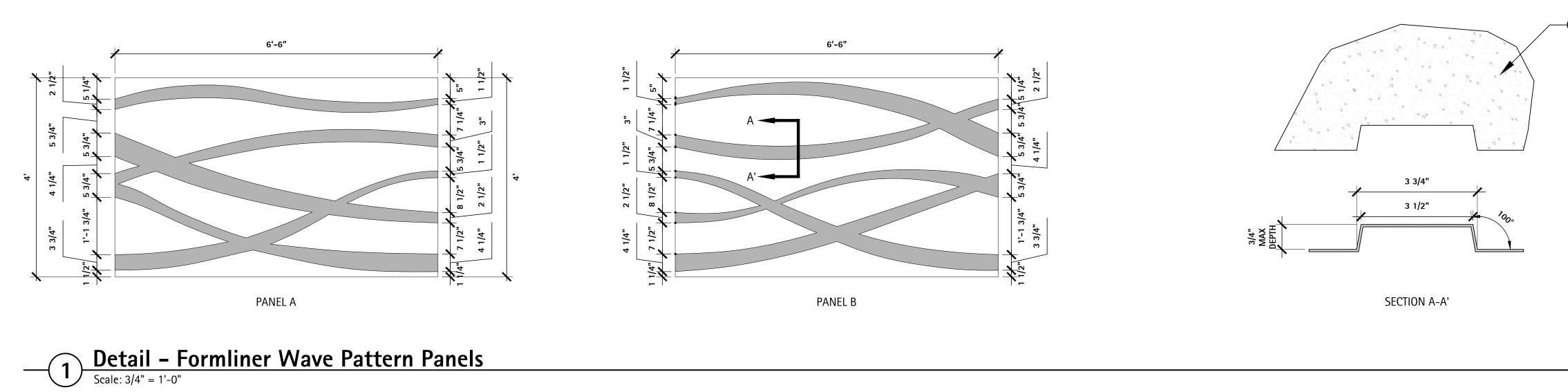
- 12" Concrete slab, see shoreline dwgs

RED BARN Design & Engineering, S.C.
N <sup>2</sup> TF
6750 Woodland Drive Waunakee Wisconsin 53597 p. 608.849.2042 c. 608.843.1870 redbarnde@tds.net
Consultants
THE LAKOTA GROUP. 1 East Wacker Drive
Suite 2700 Chicago, Illinois 60601 p 312.467.5445 f 312.467.5484
thelakotagroup.comIssued forRev. Date70% Submittal04/08/24100% Submittal06/28/24Bidding and Construction07/19/24
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Winnetka Park District Winnetka, IL
Graphic Scale
Scale None
Drawing Title
FURNISHINGS
Sheet No. C165



	5'	30'
,		

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p 312.467.5445 f 312.467.5484 thelakotagroup.com
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Project Title:
Site Improvements Centennial Park Winnetka, IL
Prepared For:
Winnetka Park District
Winnetka, IL
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Scale None Drawing Title
RETAINING WALL DETAILS
Sheet No.
C166



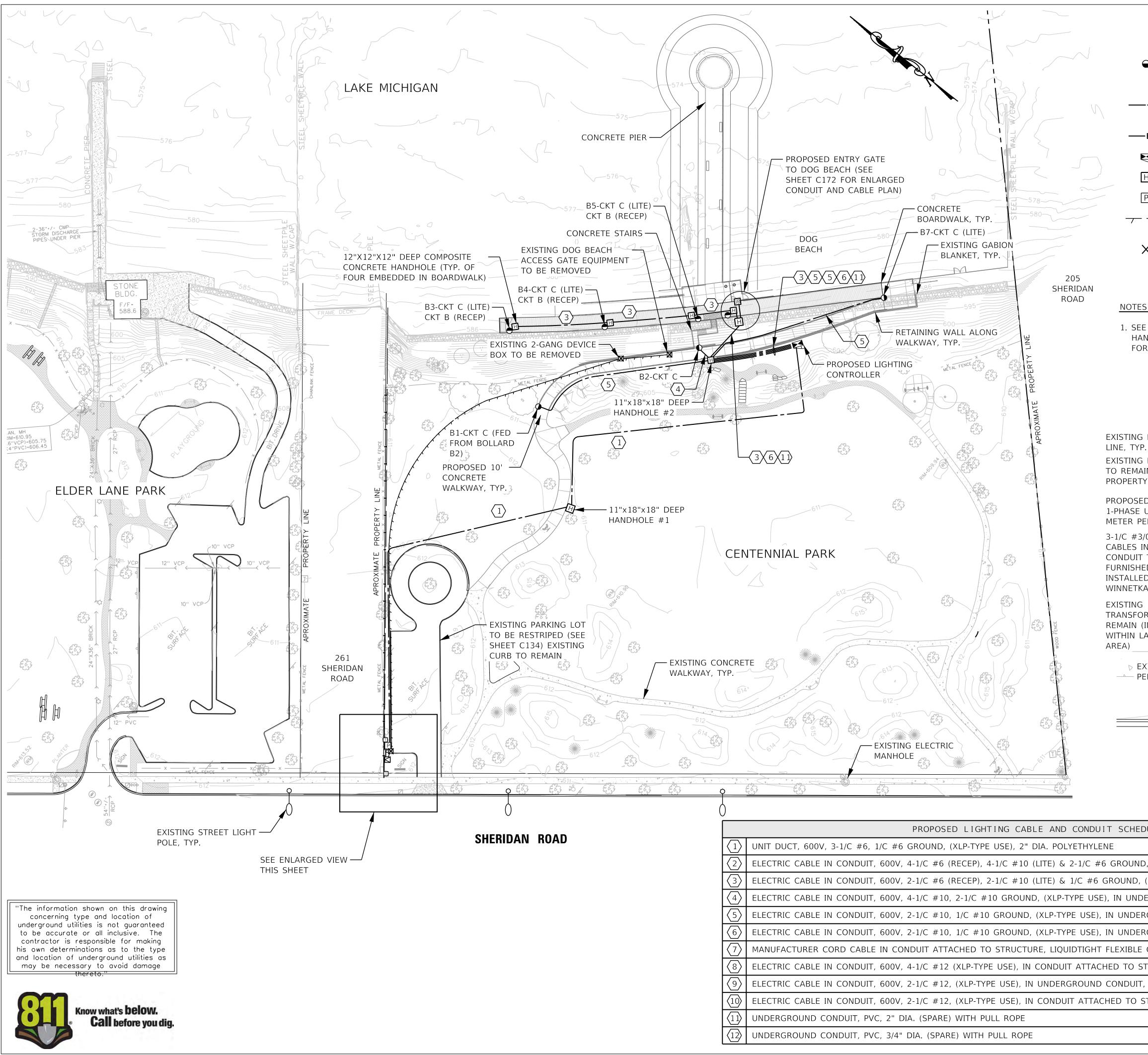
### Notes:

- Notes:

   See sheet C166 for form liner pattern layout.
   See sheet C135 for wall location and layout.
   See sheet C134 and C135 for control and expansion joints for walls.

   See specifications for manufacturer type and details for form liner.

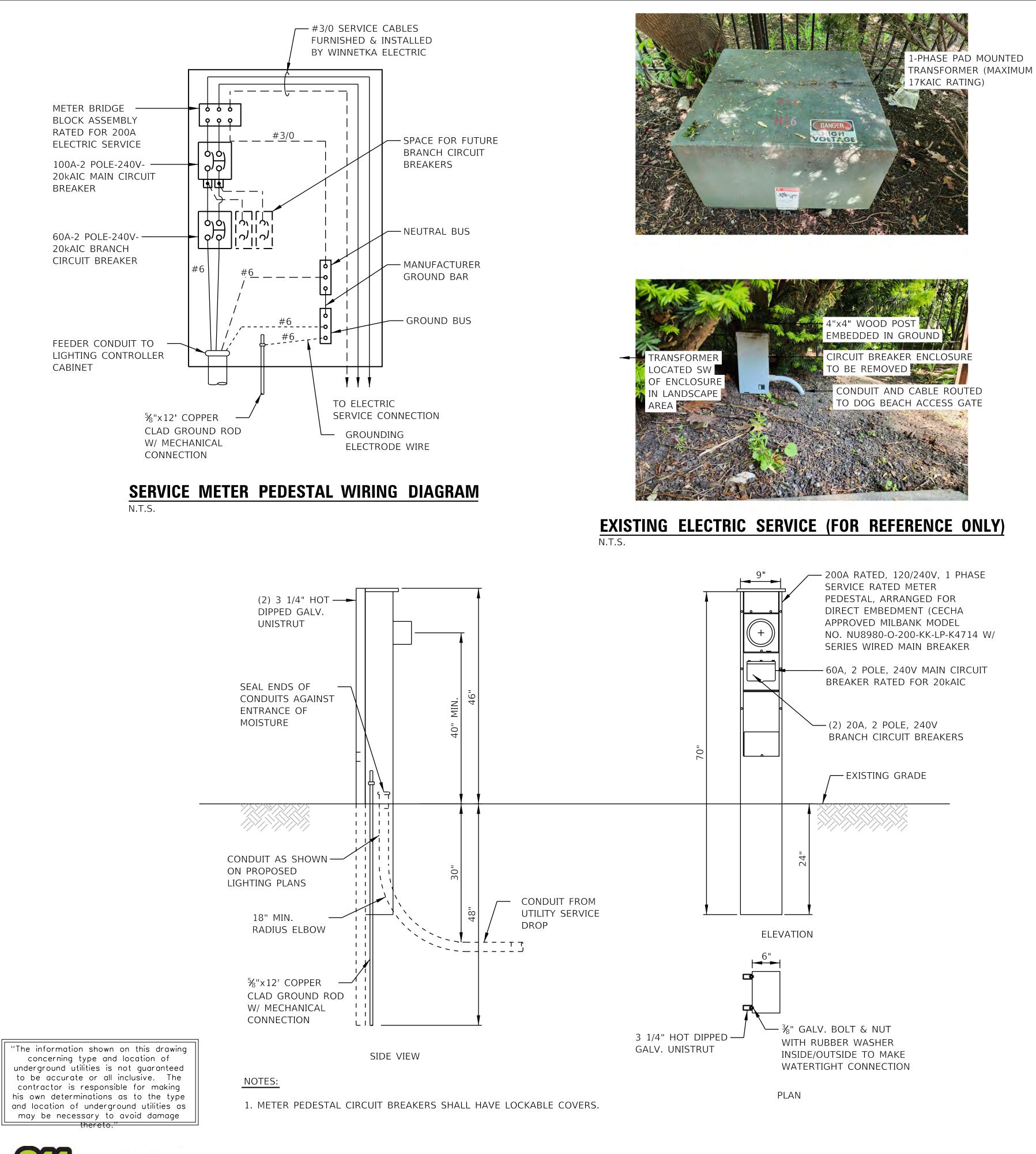
RED BARN   Design & Engineering, S.C.   Image: Construction of the state of
Consultants <b>THE</b> <b>LAKOTA</b> <b>LAKOTA</b> <b>GROUPA</b> I East Wacker Drive Suite 2700 Chicago, Illinois 60601 p 312.467.5445 f 312.467.5484 thelakotagroup.com Ssued for 70% Submittal
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Scale None
Drawing Title
RETAINING WALL DETAILS
Sheet No. CI67



	LIGHTING LEGEND	
	PROPOSED BOLLARD	
	- ORIENTATION OF LED LIGHT	
	PROPOSED CONDUIT AND CABLE (SEE PROPOSED LIGHTING CABLE AND CONDUIT SCHEDULE)	
— E —	SERVICE CONDUIT	
¥	LIGHTING CONTROLLER	
Η	COMPOSITE CONCRETE HANDHOLE	
Р	UTILITY METER PEDESTAL	
	EXISTING CABLE IN CONDUIT TO BE REMOVED	C
X	EXISTING EQUIPMENT TO BE REMOVED (AS INDICATED)	
HANDHO	ET C171 FOR TYPICAL WIRING TO BOARDWALK BOLLARDS. DLES SHALL BE INSTALLED ADJACENT TO EACH BOLLARD RING PURPOSES.	ls
MAIN (O) RTY OW SED 120 E UTILIT PEDEST 3/0 SEF 5 IN 2 1 JIT TO B HED AN LED BY TKA ELE NG 1-PH, FORMER I LANDS EXISTIN	<complex-block>         PERTY       I         CONDUIT       FXISTING CURBLINE         OWNED BY       FXISTING 2-1/C #10, 1/C #10         OWNED BY       FXISTING CIRCUIT BREAKER         FXISTING CIRCUIT BREAKER       FXISTING SERVICE CABLES TO         FXIEDAL       FXISTING SERVICE CABLES TO         FXIEDENHONE       FXISTING SERVICE CABLES TO         FXIEDAL       FXISTING PARK SIGN</complex-block>	
	ENLARGED VIEW	S
		C
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), (XLP-TYPE USE), IN UNDERGROUND CONDUIT, PVC, 1 1/2" DIA.
(XLP-TYPE USE), IN UNDERGROUND CONDUIT, PVC, 1 1/2" DIA.
ERGROUND CONDUIT, PVC, 1 1/4" DIA.
RGROUND CONDUIT, PVC, 1 1/4" DIA.
RGROUND CONDUIT, PVC, 3/4" DIA.
CONDUIT, 1/2" DIA
TRUCTURE, LIQUIDTIGHT FLEXIBLE CONDUIT, 1/2" DIA.
, PVC, 1/2" DIA.
STRUCTURE, LIQUIDTIGHT FLEXIBLE CONDUIT, 1/2" DIA.

RED BARN         Design & Engineering, S.C.         Image: Construction of the series o
Consultants
<b>Kip CiorbaGroup</b> 8725 W. Higgins Rd, Ste 600, Chicago, IL 60631 P 773.775.4009   www.ciorba.com
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Project Title:
Site Improvements Centennial Park Winnetka, IL
Prepared For:
Winnetka Park District Winnetka, IL
Graphic Scale
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Scale   Inch = 40 Ft.
Drawing Title
Lighting and Electrical Plan
Sheet No. C168



Know what's **below**. **Call** before you dig.

**SERVICE METER PEDESTAL** N.T.S.

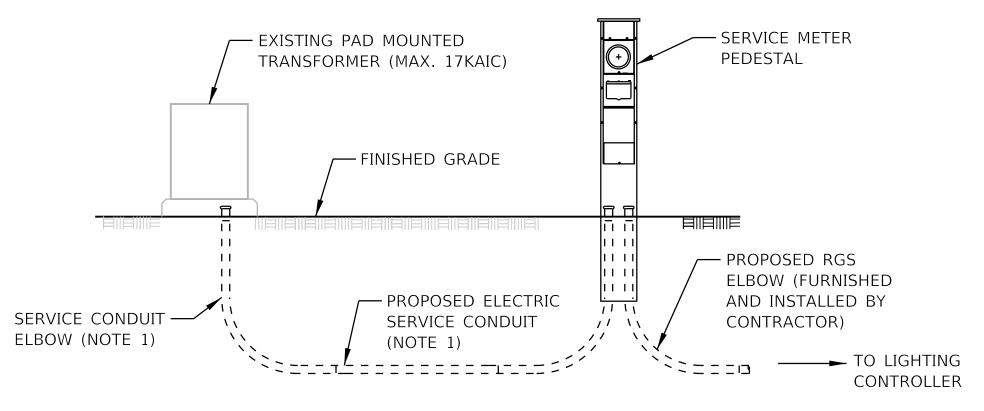
- PRIOR TO BEGINNING CONSTRUCTION.
- THE CONTRACTOR SHALL FIELD VERIFY EXACT LOCATIONS.
- CLEARANCE REQUIREMENTS.
- - B. NATIONAL ELECTRIC CODE (NEC) C. LOCAL CODES AND STANDARDS
  - D. WINNETKA ELECTRIC UTILITY STANDARDS
- SUPERVISION/DIRECTION AND MEANS/METHODS OF CONSTRUCTION.

- AND THE VILLAGE.

## **PROJECT CONTACTS**

WINNETKA ELECTRIC

CONTACT: OFFICE NO .:



NOTES:

2. CONTRACTOR TO SCHEDULE & COORDINATE ALL WORK WITH WINNETKA ELECTRIC DEPARTMENT.



## **LIGHTING GENERAL NOTES**

1. THE LOCATION OF BURIED AND ABOVE GROUND UTILITIES SHOWN ARE APPROXIMATE AND ARE SHOWN FOR INFORMATION ONLY. REROUTING, DISCONNECTION, RELOCATION, PROTECTION ETC., OF ANY UTILITIES MUST BE COORDINATED BETWEEN THE CONTRACTOR, UTILITY COMPANY, AND OWNER. THE CONTRACTOR SHALL FIELD VERIFY THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES BASED ON UTILITY/JULIE MARKINGS

2. THE LOCATIONS OF EXISTING LIGHTING/ELECTRICAL FACILITIES SHOWN ON THE PLANS ARE APPROXIMATE.

3. BEFORE INSTALLING LIGHT STANDARDS NEAR OVERHEAD AND UNDERGROUND ELECTRIC UTILITIES THE CONTRACTOR SHALL CALL ELECTRIC UTILITY COMPANY FOR LOCATION APPROVAL AND MINIMUM

4. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FOLLOWING SPECIFICATIONS:

A. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AS PREPARED BY IDOT, ALSO REFERRED TO AS THE "STANDARD SPECIFICATIONS"

5. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY AS WELL AS

6. UNDERGROUND CABLES SHALL BE DISCONNECTED AND REMOVED FROM CONDUITS TO BE ABANDONED.

7. UNDERGROUND CONDUITS TO BE ABANDONED SHALL BE REMOVED TO A MINIMUM OF 2 FT BELOW GRADE.

8. UPON COMPLETION OF THE SITE LIGHTING AND ELCTRICAL IMPROVEMENTS, THE CONTRACTOR SHALL PERFORM ELECTRICAL TESTING AND VERIFY THAT THE INSTALLATION COMPLIES WITH THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION IN ILLINOIS. ALL ELECTRICAL TESTING SHALL BE PERFORMED IN THE PRESENCE OF THE ENIGNEER/OWNER, PARK DISTRICT,

MR. RYAN BRIDGES (847) 716-3550

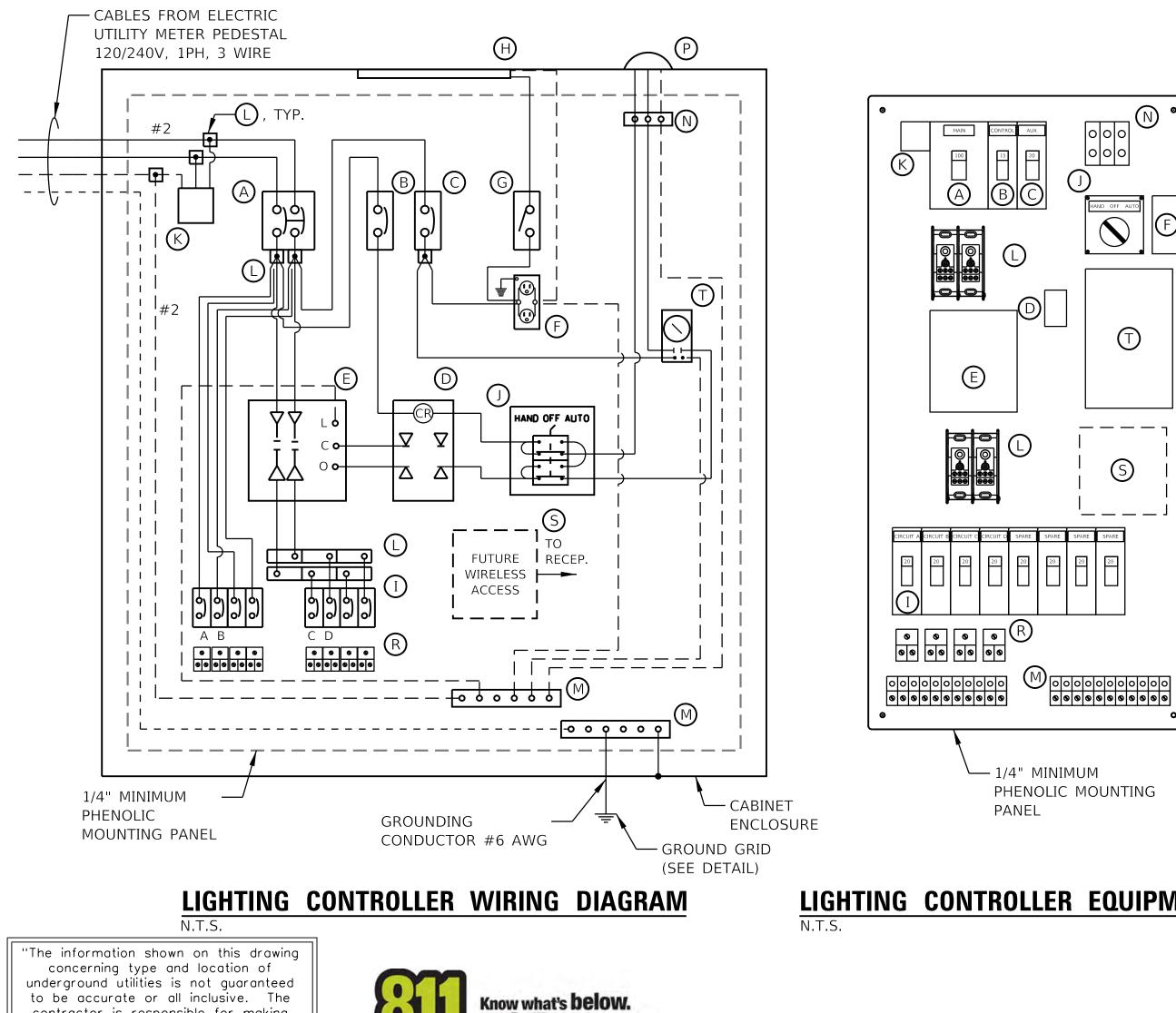
1. WINNETKA ELECTRIC DEPARTMENT WILL SUPPLY SERVICE CONDUIT, ELBOWS, AND CABLES BETWEEN THE EXISTING PAD MOUNTED TRANSFORMER AND SERVICE METER PEDESTAL.

## **ELECTRIC SERVICE DETAIL**

	RED E			i.c.
		A.	*	
ļ	Waunake p. ( c. (	Woodlan e Wisco 508.849.2 508.843. arnde@t	nsin 53 2042 1870	
Consu	Iltants			
8725 V	Cio . Higgins Rd, S 773.775.4009	Ste 600, Chi	icago, IL	-
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## LICHTING CONTROLLER FOLLOMENT

	LIGHTING CONTROLLER EQUIPMENT							
ITEM	SPECIFICATION	MANUFACTURER MODEL NO. OR EQUAL		PI	ROPOSE	ED LIGH	TING C	
A MAIN CIRCUIT BREAKER	60A, 2P, 240V SERVICE RATING, 10KAIC	SQUARE D NO. BDL26060					DUP	'LEX
B CONTROL CIRCUIT BREAKER	15A, 1P, 120V RATING, 10KAIC	SQUARE D NO. BDL16015	CIRCUIT ID		BUL		RECEP	
C CABINET CIRCUIT BREAKER	20A, 1P, 120V RATING, 10KAIC	SQUARE D NO. BDL16020	COLOR)	POLES	QTY.	LOAD/FIX	QTY.	LOAD/FIXT
D AUXILIARY RELAY	30A-120 V OPERATED DPDT 60 HZ COIL 2 NO & 2 NC CONTACTS, PLUG		A - RED	20A-1P	0	20	0	500
E LIGHTING CONTACTOR	30A, 2-POLE, 120V COIL, MECH HELD, OPEN TYPE	SQUARE D NO. 8903SMO1 V02	B - BLACK		0	20	4	500
F CABINET RECEPTACLE AND BOX	COMMERCIAL GRADE GFCI 20A/120V, MOUNTED IN A WEATHERPROOF CALUMINUM SINGLE GANG BOX WITH WEATHERPROOF COVER	AST RECEPTACLE: LEVITON NO. 8899, BOX: APPLETON NO. WSM150 COVER: APPLETON NO. WHG1	C - RED D - BLACK E - RED	20A-1P 20A-1P 20A-1P	7 0 0	20 20 20	0 0 0	500 500 500
G DOOR SWITCH	20A-120V, DOOR MTD SNAP ACTION PLUNGER SWITCH	OMRON NO. A-20GQ-K	F - BLACK		0	20	0	500
H CABINET LIGHT	5 WATT LED STRIP LIGHT, 60K HOUR RATING, DOOR SWITCH CONTROLL FASTENED TO TOP OF CABINET	<sup>ED,</sup> PENTAIR NO. LEDA1S35		L	/		4	
I BRANCH CIRCUIT BREAKER	8-20A, 1P, 120V RATING, 10 KAIC	SIEMENS NO. ED21B020	_					
	20A, 3 POS. MTD IN 3-GANG CAST ALUM. BOX	SQUARE D NO. 9001 KYK 111		_	~	— COMPRES	SION TYPE	
K SURGE ARRESTOR	10 K AMPERE RATING	SQUARE D NO. SDSA 1175	TRIMMED CABLE	$\sim$	_ /	COPPER S		
L POWER DISTRIBUTION BLOCK	600 VOLT, INSULATED, SIZE AS REQ'D, 10KAIC	MARATHON		$\mathbf{X}$			DR ACTUAL	
M GROUND & NEUTRAL COPPER BUS	NEUTRAL BUS-MIN 24 TERMINATIONS (#3/0-#10) & GROUND BUS-MIN 16 TERMINATIONS (#3/0-#10), BUSES SHALL BE HORIZONTAL & LOCATED A THE BASE OF CABINET		HEAT-SHRINKABLE CAP WITH FACTORY APPLIED WATERPROOF SEALANT			AND MFR.	OF CABLES . SUGGESTE OL USED)	
N PHOTOCELL TERMINAL BLOCK	3 TERMINAL, SCREW TYPE, #14-#10 WIRE SIZE	CINCH NO. 3-142	(SIZED TO ACCOMMOD	ATE		— SEALANT		
P PHOTOCELL	120V, MTD ON CABINET, DELAY TYPE, SPST-NC	FISHER PIERCE NO. FPFA-105M	NUMBER OF CABLES)			INSERT (A		
	30A, 240V, #12-#1/0 AWG WIRE RANGE (MAX 3 #10 PER LUG), INSULAT CKTS SHALL BE LABELED 8"x8" SPACE FOR FUTURE WIRELESS CONTROL BOX AND CONNECTIONS		_			AND THRO CROTCH (	OF SPLICE)	
T TIMECLOCK	120V, DPST, 24-HOUR MECHANICAL TIME CLOCK WITH METAL ENCLOSU		ELECTRIC FEEDER CABLE		+K			
2. THE MAIN CIRCUIT BREAKER SHALL BI 3. ALL SWITCHES SHALL BE IDENTIFIED	USING TWO COLOR ENGRAVED NAME PLATES. H THE APPROPRIATE ARC FLASH LABEL AND INCLUDE PERSONNEL PROTE		(SIZE AS NOTED ON CONTRACT DRAWINGS)		ELECTR (SIZE A	EXPOSED SEA RIC CABLE TO AS NOTED ON ACT DRAWIN	D LED LIGHT N THE	Γ
CABLES FROM ELECTRIC			<b>TY</b> N.T	<b>PICAL SPI</b> .s.	LICE DE	<u>TAIL</u>		
UTILITY METER PEDESTAL 120/240V, 1PH, 3 WIRE					ALLOY TYPE WITH 0.125' AND A BRUS FINISH 2"x16" STAI IAMEPLATE I LIGHTING CO GAINST ENT 10ISTURE	ATED, ALUMII 5052-H32 C WALL THICI SHED ALUMIN NLESS STEEI ENGRAVED V ONTROLLER" OF CONDUITS RANCE OF SHED GRADE	ABINET KNESS, NUM VITH	PHOTOC CABINET OVERHA CABINET ORIENTA AWAY FR 3 PO HANI CORE PAD



Call before you dig.

to be accurate or all inclusive. The contractor is responsible for making his own determinations as to the type and location of underground utilities as may be necessary to avoid damage thereto.''

- 1/4" MINIMUM PHENOLIC MOUNTING PANEL

# LIGHTING CONTROLLER EQUIPMENT LAYOUT

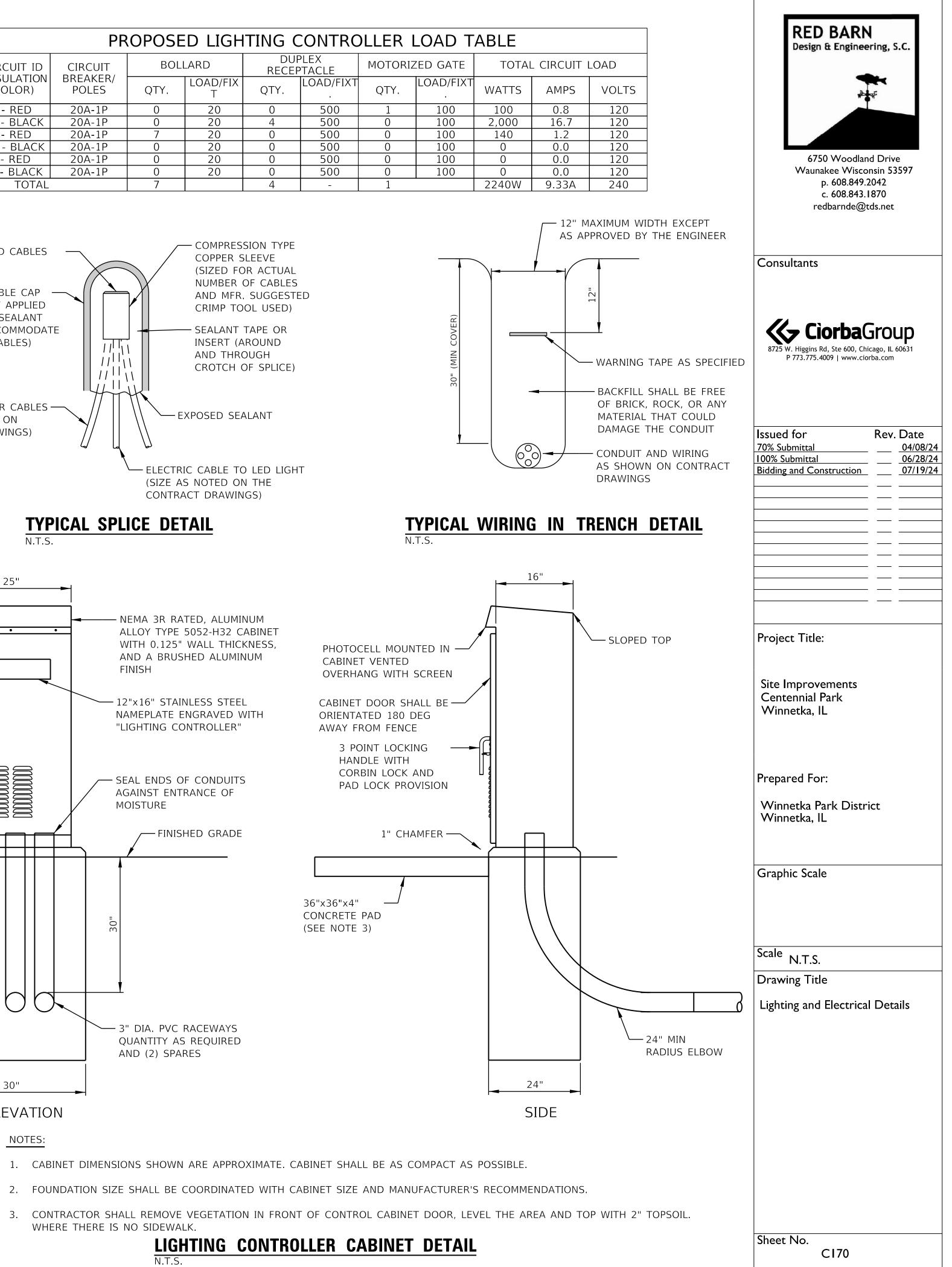
# NOTES:

ELEVATION

30"

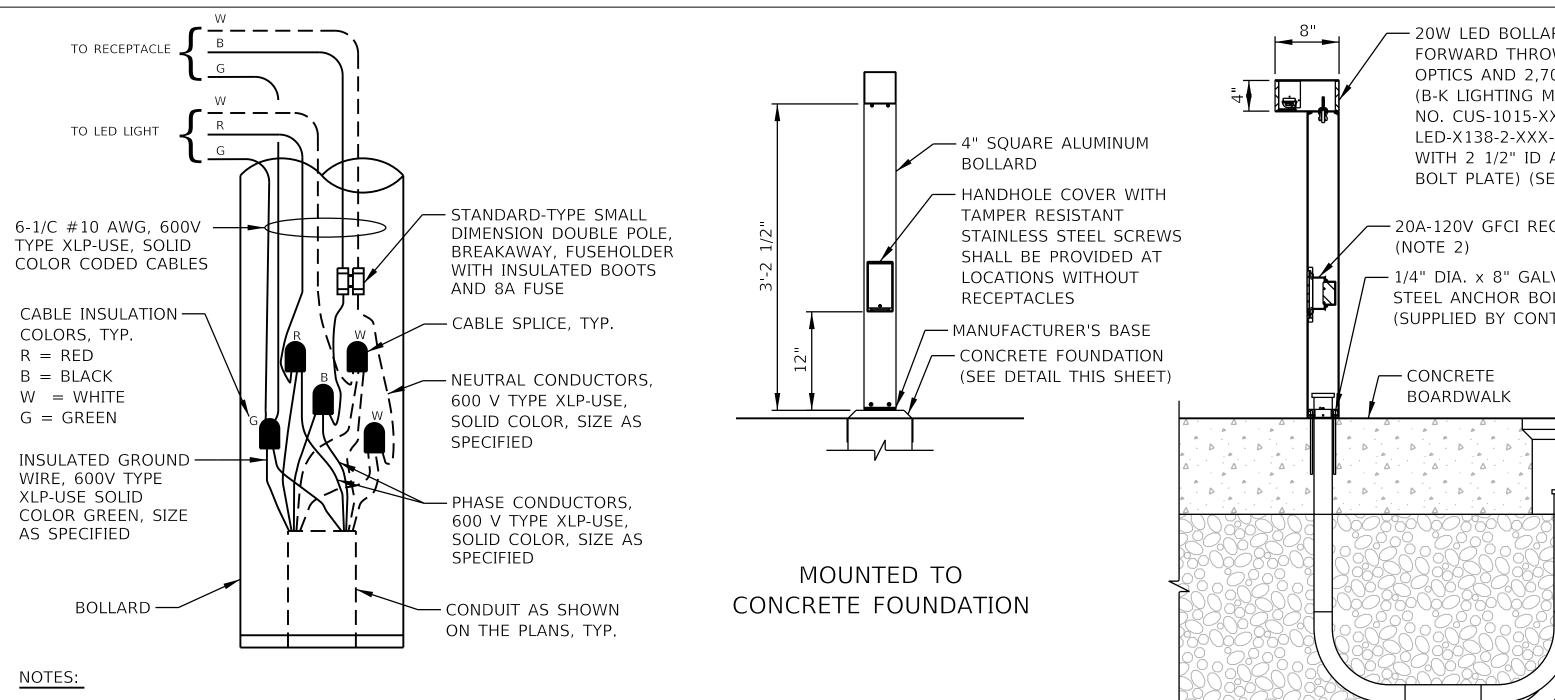
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- WHERE THERE IS NO SIDEWALK.





**EXISTING GATE ACCESS EQUIPMENT TO BE REMOVED** N.T.S.



1. BOLLARDS MOUNTED TO BOARDWALK (B3-B6) SHALL BE PROVIDED WITH RECEPTACLES. ALL OTHER BOLLARDS SHALL ONLY BE PROVIDED WITH A LED LIGHT.

N.T.S.

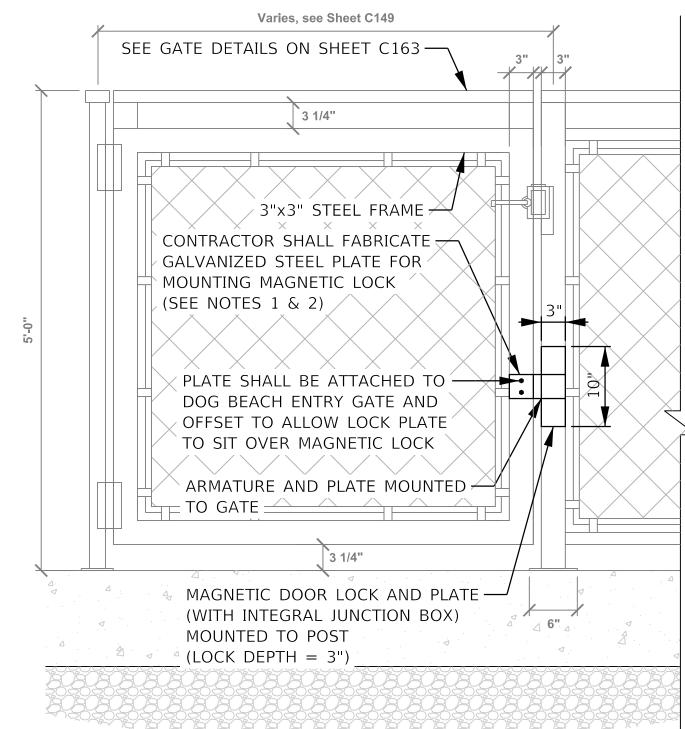


## **EXISTING GATE ACCESS** JUNCTION BOX TO BE REMOVED N.T.S.

"The information shown on this drawing concerning type and location of underground utilities is not guaranteed to be accurate or all inclusive. The contractor is responsible for making his own determinations as to the type and location of underground utilities as may be necessary to avoid damage thereto "



Know what's **below**. Call before you dig.

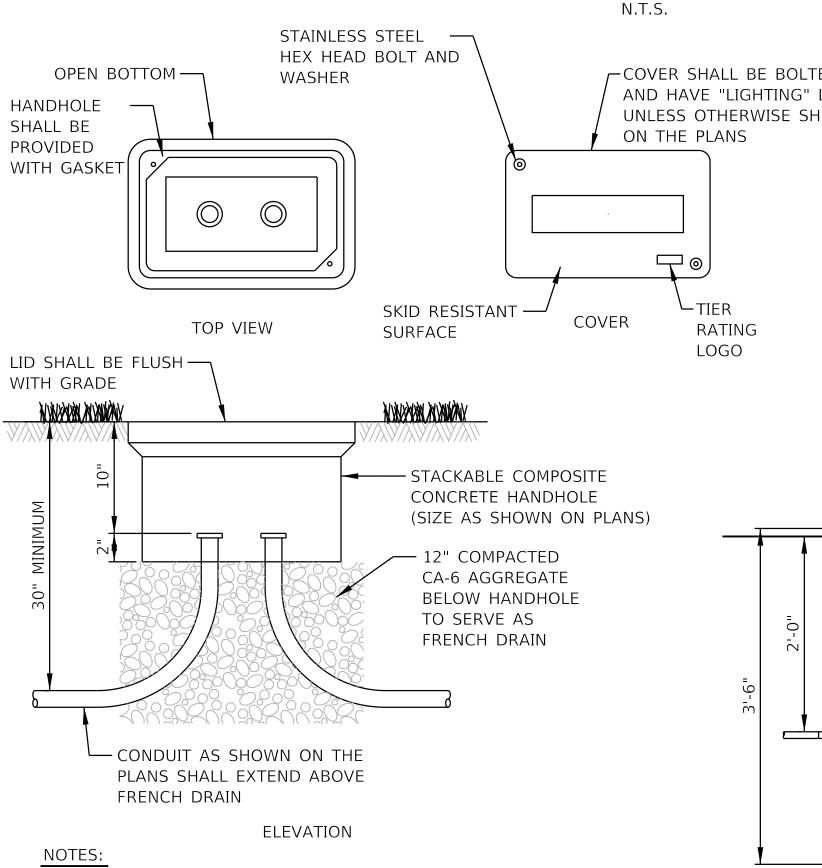


## NOTES:

- 1. STEEL PLATE SHALL BE PROVIDE WITH A BLACK FINISH TO MATCH THE GATE.
- 2. STEEL PLATE SHALL BE AS COMPACT AS POSSIBLE. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND MOCK UP AS REQUESTED BY ENGINEER/OWNER.
- 3. MAGNETIC LOCK SHALL BE WELDED TO STEEL FENCE AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- 4. SEE EXISTING GATE ACCESS EQUIPMENT PHOTO (THIS SHEET) FOR REFERENCE.

**MAGNETIC LOCK GATE MOUNTING DETAIL** N.T.S.

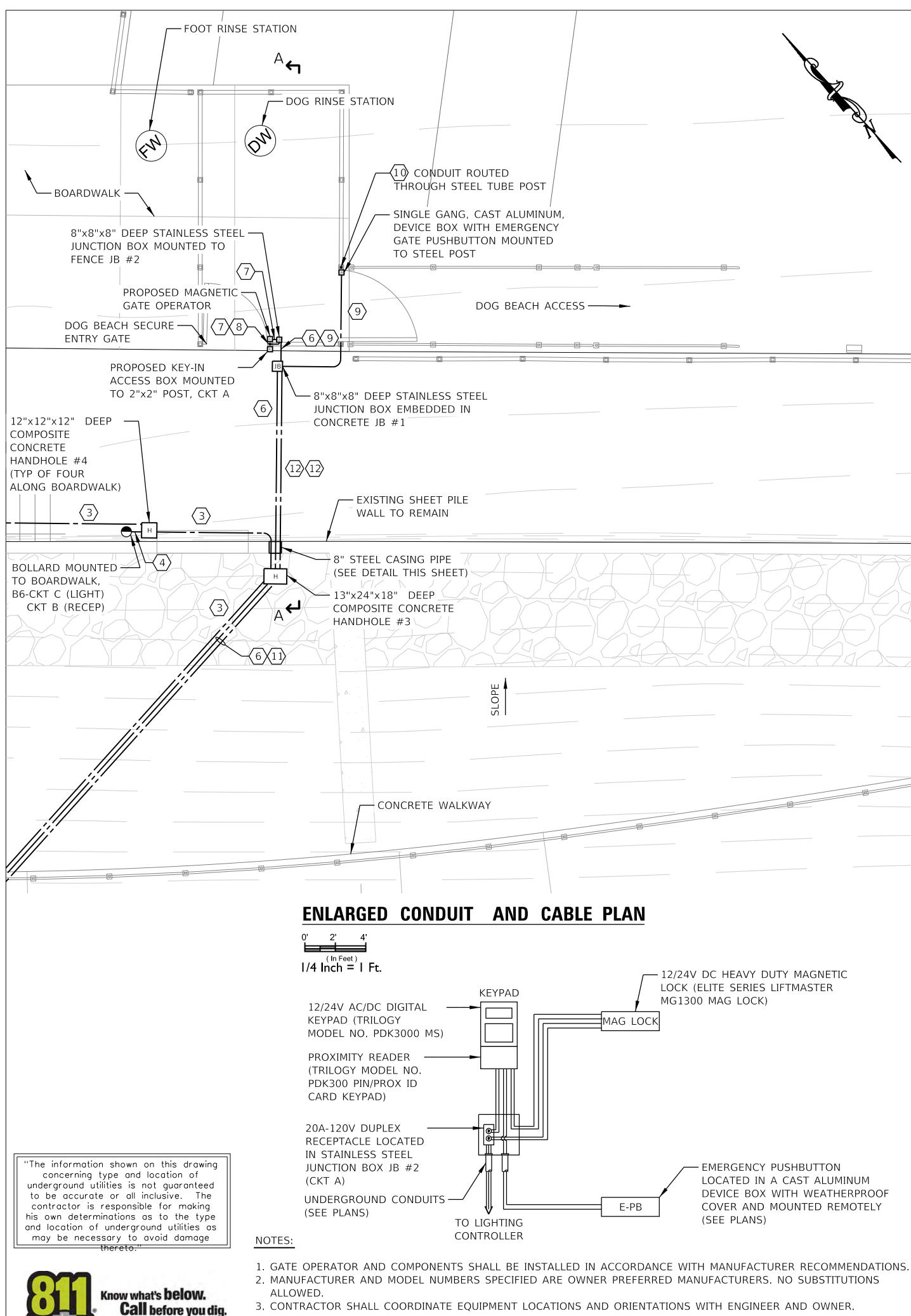
## **BOLLARD WIRING DETAIL**



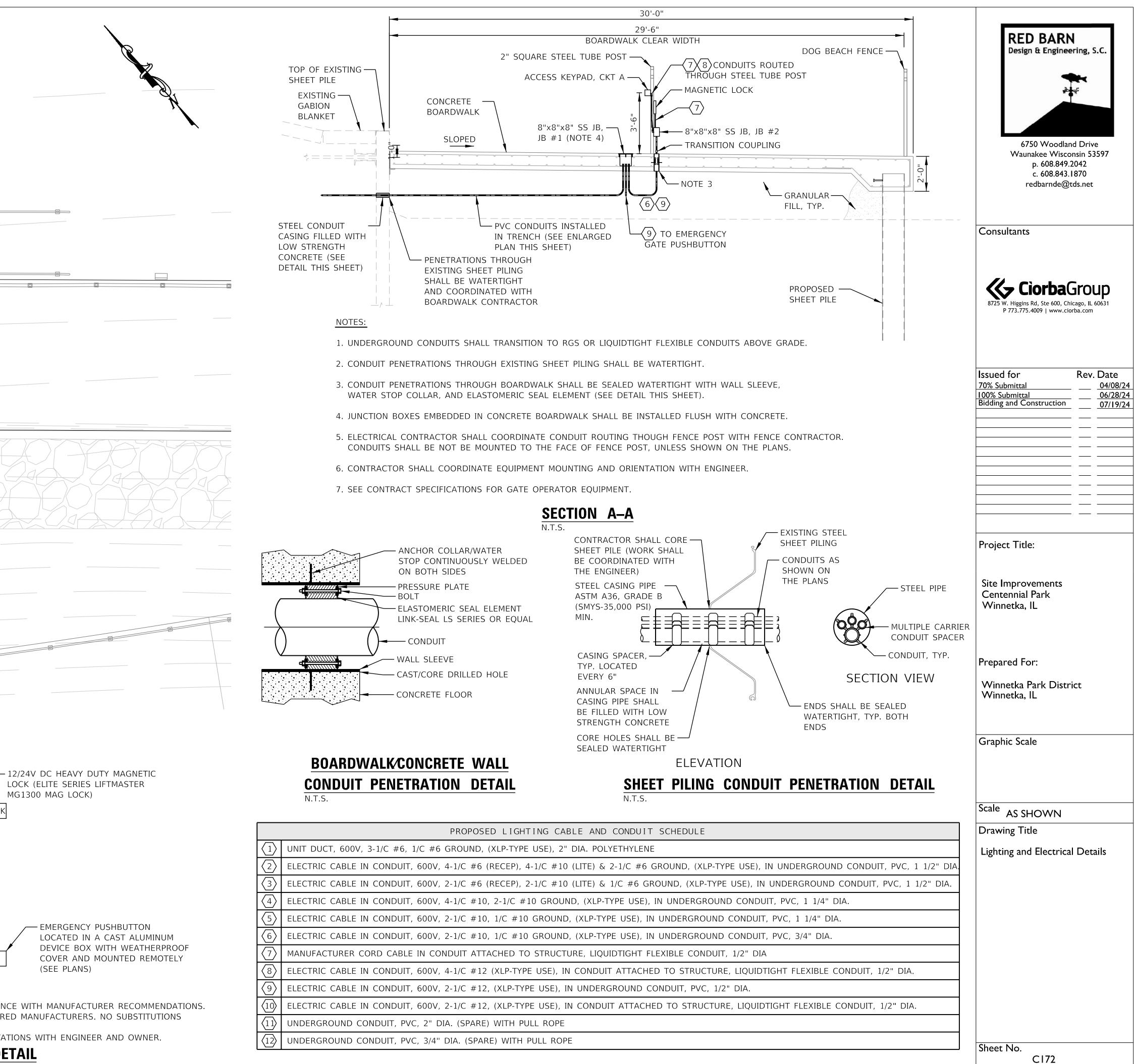
- 1. NO SPLICING SHALL BE ALLOWED IN HANDHOLE.
- 2. POLYMER CONCRETE HANDHOLE AND LID SHALL BE GREEN IN LANDSCAPED AREAS AND MATCH COLOR IN CONCRETE/BRICK AREAS.
- 3. BOX & LID SHALL MEET/EXCEED ANSI TIER 15 LOADING REQUIREMENTS, AND BE TESTED IN ACCORDANCE WITH THE LATEST EDITION OF THE ANSI/SCTE 77 "SPECIFICATION FOR UNDERGROUND ENCLOSURE INTEGRITY", AND THE PROVISIONS OF PARAGRAPHS 5.2.3 AND 5.2.4 OF WESTERN UNDERGROUND COMMITTEE GUIDE 3.6.

## **COMPOSITE CONCRETE HANDHOLE DETAIL** N.T.S.

8" 20W LED BOLLARD FORWARD THROW OPTICS AND 2,700 (B-K LIGHTING MOUNO. CUS-1015-XX-UNDED-X138-2-XXX-EL WITH 2 1/2" ID AN BOLT PLATE) (SEE 20A-120V GFCI RECEN (NOTE 2) 1/4" DIA. x 8" GALVA STEEL ANCHOR BOLT (SUPPLIED BY CONTRACE) CONCRETE BOARDWALK	TYPEK CCT1. CONTRACTOR SHALL SUBMIT COLOR SAMPLES OF SATIN BLACK (BLP), BLACK WRINKLE (BLW), AND BLACK CHROME (BCM) PAINT CHIPS FOR OWNER SELECTION.V-MTOWNER SELECTION.CHOR2. BOLLARDS MOUNTED TO CONCRETE BOARDWALK SHALL BE PROVIDED WITH GFCI RECEPTACLE (ONLY).PTACLE3. NO SPLICING SHALL BE ALLOWED IN HANDHOLES. ALL SPLICES SHALL BE MADE AT THE BASE OF THE BOLLARDS ONLY.NIZEDS	RED BARN         Design & Engineering, S.C.         Image: Consultants
		<b>Issued for</b> 70% Submittal
MOUNTED TO BOARD <b>BOLLARD DETAIL</b> N.T.S.		100% Submittal       06/28/24         Bidding and Construction       07/19/24
OSITE HOLE ON PLANS)	GO VN SEE DETAIL THIS SHEET 1/2" EXPANSION JOINT BETWEEN FOUNDATION & SIDEWALK, TYP. SIDEWALK ANCHOR BASE	Graphic Scale
EN IN RICK AREAS. THE RN	<pre></pre>	Scale N.T.S. Drawing Title Lighting and Electrical Details Sheet No.



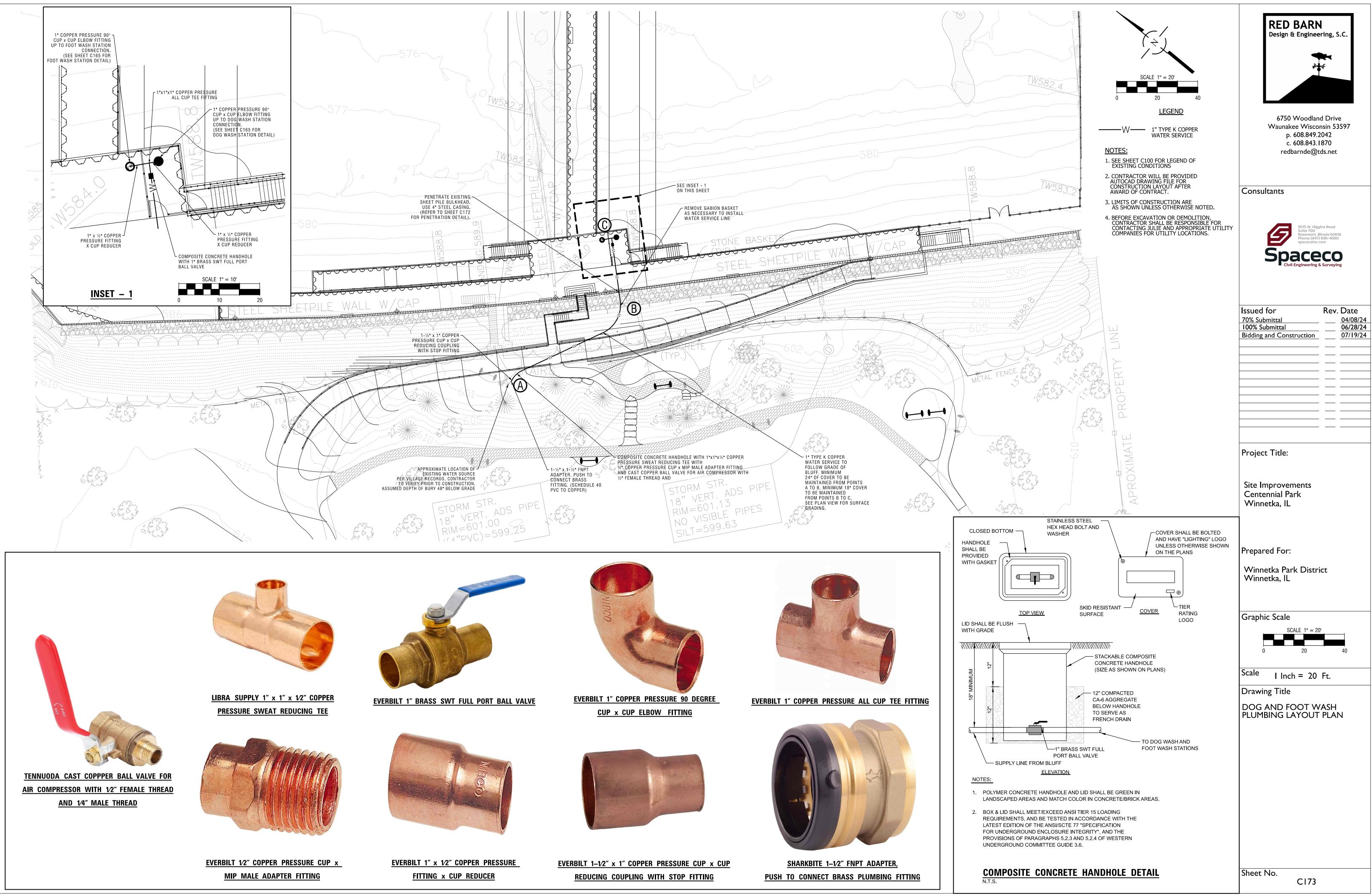
**GATE OPERATOR WIRING DETAIL** 



LOCK (ELITE SERIES LIFTMASTER MG1300 MAG LOCK)

> - EMERGENCY PUSHBUTTON LOCATED IN A CAST ALUMINUM DEVICE BOX WITH WEATHERPROOF COVER AND MOUNTED REMOTELY (SEE PLANS)

	PROPOSED LIGHTING CABLE AND CONDUIT
$\left\langle 1\right\rangle$	UNIT DUCT, 600V, 3-1/C #6, 1/C #6 GROUND, (XLP-TYPE USE), 2" DIA. POLYETHYLENE
$\langle 2 \rangle$	ELECTRIC CABLE IN CONDUIT, 600V, 4-1/C #6 (RECEP), 4-1/C #10 (LITE) & 2-1/C #6 C
3	ELECTRIC CABLE IN CONDUIT, 600V, 2-1/C #6 (RECEP), 2-1/C #10 (LITE) & 1/C #6 GR
$\langle 4 \rangle$	ELECTRIC CABLE IN CONDUIT, 600V, 4-1/C #10, 2-1/C #10 GROUND, (XLP-TYPE USE),
5	ELECTRIC CABLE IN CONDUIT, 600V, 2-1/C #10, 1/C #10 GROUND, (XLP-TYPE USE), IN
6	ELECTRIC CABLE IN CONDUIT, 600V, 2-1/C #10, 1/C #10 GROUND, (XLP-TYPE USE), IN
$\overline{7}$	MANUFACTURER CORD CABLE IN CONDUIT ATTACHED TO STRUCTURE, LIQUIDTIGHT FL
8	ELECTRIC CABLE IN CONDUIT, 600V, 4-1/C #12 (XLP-TYPE USE), IN CONDUIT ATTACHE
9	ELECTRIC CABLE IN CONDUIT, 600V, 2-1/C #12, (XLP-TYPE USE), IN UNDERGROUND CO
$\langle 10 \rangle$	ELECTRIC CABLE IN CONDUIT, 600V, 2-1/C #12, (XLP-TYPE USE), IN CONDUIT ATTACHE
$\langle 11 \rangle$	UNDERGROUND CONDUIT, PVC, 2" DIA. (SPARE) WITH PULL ROPE
(12)	UNDERGROUND CONDUIT, PVC, 3/4" DIA. (SPARE) WITH PULL ROPE



General Notes

5.

- 1. The building code applicable to this project is the International Building Code (IBC) 2017
- 2. All details and sections shown on the drawings are typical and shall be used wherever a similar condition occurs unless noted otherwise.
- 3. Contractor shall field verify all existing dimensions and conditions as it relates to new construction. Contractor shall report any discrepancies to the E/A.
- 4. The stability and strength of the completed structure depends upon the interaction of various connected parts such as diaphragms, braces and/or shear walls. Contractor shall provide temporary bracing and/or shoring as necessary to complete the work.

j.	Design Loads: Dead Load Uniform Live Load Concentrated Live Load.	actual weight 100 psf 300 pounds
	Roof Snow Load: Ground Snow Load (Pg) Flat Roof Snow Load (Pf) Snow Exposure Factor (Ce) Snow Load Importance Factor (I)	17 psf 0.8
	Wind load: Basic Wind Speed Wind Load Importance Factor Wind Exposure Category Wind Design Pressure (P)	1

### Soil borings

- 1. For location of soil borings see Civil or Architectural Plans.
- 2. For boring logs and foundation report see the appendix to the project manual.

### Excavation and Backfilling

- 1. Minimum required net bearing capacity is: 3000 psf
- <u>3000</u> psf for spread footings
- 2. Where foundation is over excavated, remove all disturbed foundation soil and replace with lean concrete or compacted structural backfill.
- 3. Over excavate unsuitable foundation soil where required by the E/A and replace with compacted structural backfill. See specifications.

### Removal and Protection

- 1. Provide shoring and bracing for structural elements during partial removal to avoid any damage to the existing facilities.
- 2. Existing structures shall be protected from overloading due to construction loadings. Heavy equipment shall not be operated close to existing tanks to avoid high lateral earth pressures on walls.
- 3. Damage to adjacent facilities during construction shall be repaired at no additional cost to the owner.

### Cast-in-place concrete

- 1. Concrete work on this project shall conform to all requirements of ACI 301, standard specifications for structural concrete, published by the American Concrete Institute (ACI), Detroit, Michigan, except as modified by the requirements of these contract documents.
- 2. All concrete shall be provided with a minimum ultimate compressive strength at 28 days (fc) of 3000 psi
- 3. All exterior concrete, building foundations and concrete subject to freeze-thaw shall have 4% to 7% air content by volume measured in accordance with ASTM C231. Air entraining admixtures shall conform to ASTM C260. The slump shall not exceed 4 inches measured in accordance with ASTM C143.
- 4. Reinforcing steel shall conform to ASTM A-615 Grade 60. Welded wire fabric shall conform to ASTM A-185.
- 5. Submit shop drawings of the reinforcement bars prepared in accordance with ACI 315, details and detailing of concrete reinforcement.
- 6. Welding of reinforcing bars shall not be permitted.
- 7. No calcium chloride will be used in concrete.
- 8. Dusting with any material to absorb surface water is prohibited.
- 9. Curing procedures in accordance with ACI 301 shall continue for a period of at least 7 days.

10.

11.

13.

14.

Do not mix salt, chemicals or other foreign materials with the concrete to prevent freezing. Maintain the temperature of the concrete above 50 degrees Fahrenheit for five days after placement.

Minimum

Cover for reinforcement for cast-in-place concrete shall be as follows:

Slabs and joists:	<u>Cover, Inches</u>
Top and bottom bars for dry conditions: #11 bars and smaller	3/4
Formed concrete surfaces exposed to earth, water, or weather, and over or in contact with sewage and for bottoms bearing on work mat, or slabs supporting earth cover: #5 bars and smaller	
#5 bars and smaller #6 through #11 bars Beams and Columns:	1 1/2 2
For dry conditions: stirrups, spirals, and ties principal reinforcement	1 1/2 2
Exposed to earth, water, sewage, or weather: stirrups and ties principal reinforcement	2 2 1/2
Walls:	
For dry conditions: #11 bars and smaller Formed concrete surfaces exposed to earth, water, sewage, weather, or in contact with	3/4
ground:	2
Footings and base slabs:	
At formed surfaces and bottoms bearing on concrete work mat At unformed surfaces and bottoms in	2
contact with earth Top of footings - same as slabs	3
over top of piles	2

Unless shown otherwise on plans, lap splices of uncoated reinforcement bars shall be as follows:

		Lap length - inches (smaller bar)*								
	Bar Size	<u>#3</u>	<u>#4</u>	<u>#5</u>	<u>#6</u>	<u>#7</u>	<u>#8</u>	<u>#9</u>	<u>#10</u>	<u>#11</u>
A)	horizontal bars so placed that <u>more</u> than 12 inches of concrete will be cast below the bars	24	32	40	48	70	80	91	102	113
B)	Horizontal bars so placed that <u>less</u> than 12 inches of concrete will be cast below the bars	19	25	31	37	54	62	70	79	87
C)	Vertical Bars 19	25	31	37	54	62	70	79	87	

\* Lap lengths are calculated for uncoated bars in accordance with ACI 318, class B splices and f'c = 4000 psi. Minimum clear spacing between bars is two bar diameters and minimum cover is one bar diameter. For other conditions, calculate splices in accordance with ACI 318, class b splices required unless noted otherwise.

Obtain E/A's written approval for any additional or relocated construction joints other than those shown on drawings.

Unless shown otherwise, chamfer all exposed edges of concrete 3/4 inch.

## INDEX OF SHEET

C174	Stair
C175	Stair
C176	Stair

- rs General Notes and Bill of Materials
- rs General Plan, Foundation Plan and Framing Plan
- rs Structural Details (Sheet 1 of 2)
- S177 Stairs Structural Details (Sheet 2 of 2)

<b>RED BARN</b> Design & Engineering, S.C.	
6750 Woodland Drive Waunakee Wisconsin 53597 p. 608.849.2042 c. 608.843.1870 redbarnde@tds.net	
Consultants	, LTD.
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Prepared For: Winnetka Park District Winnetka, IL	
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STAIRS - GENERAL NOTES AND BILL OF MATERIALS	
Sheet No. C-174	



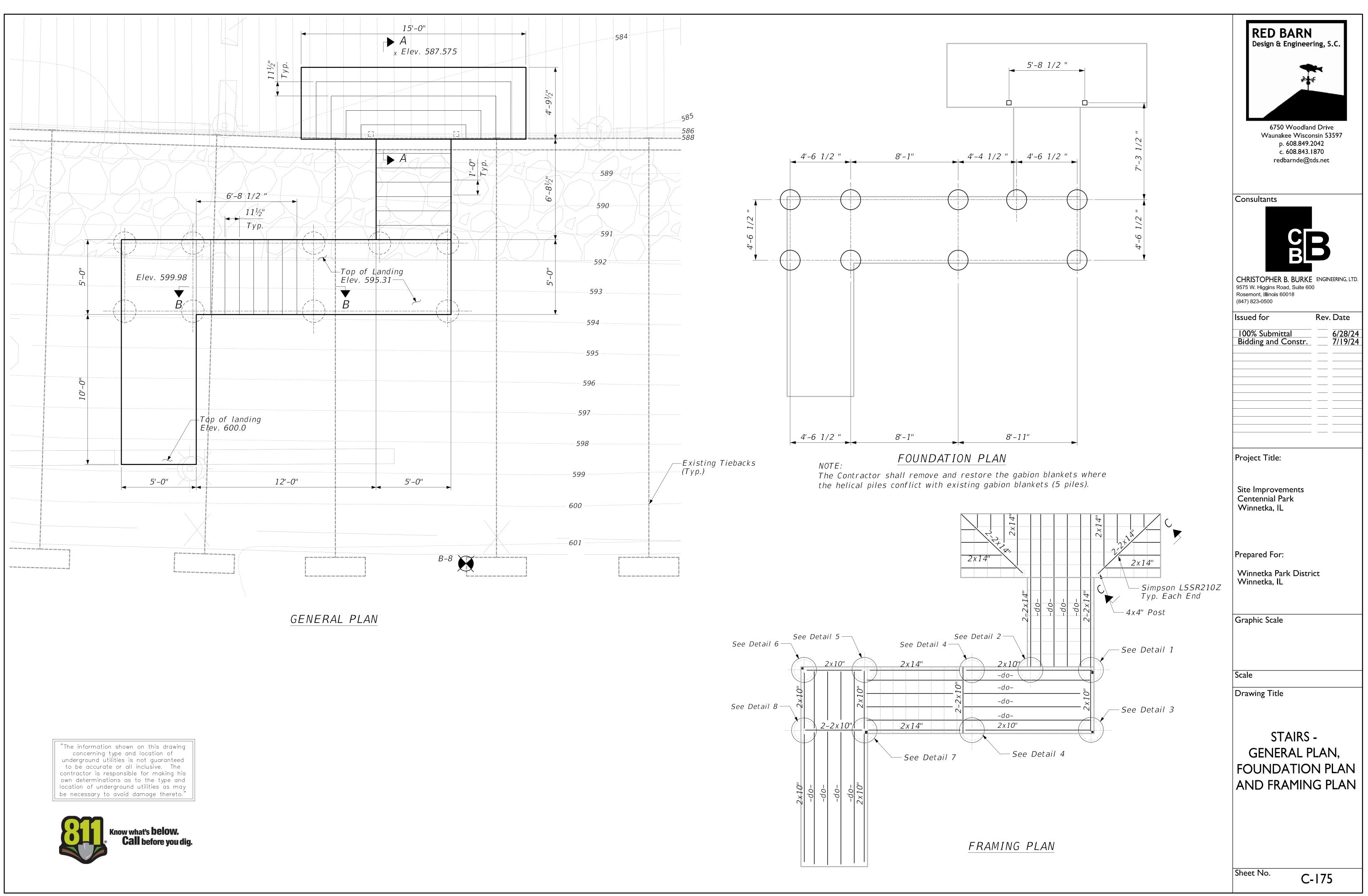
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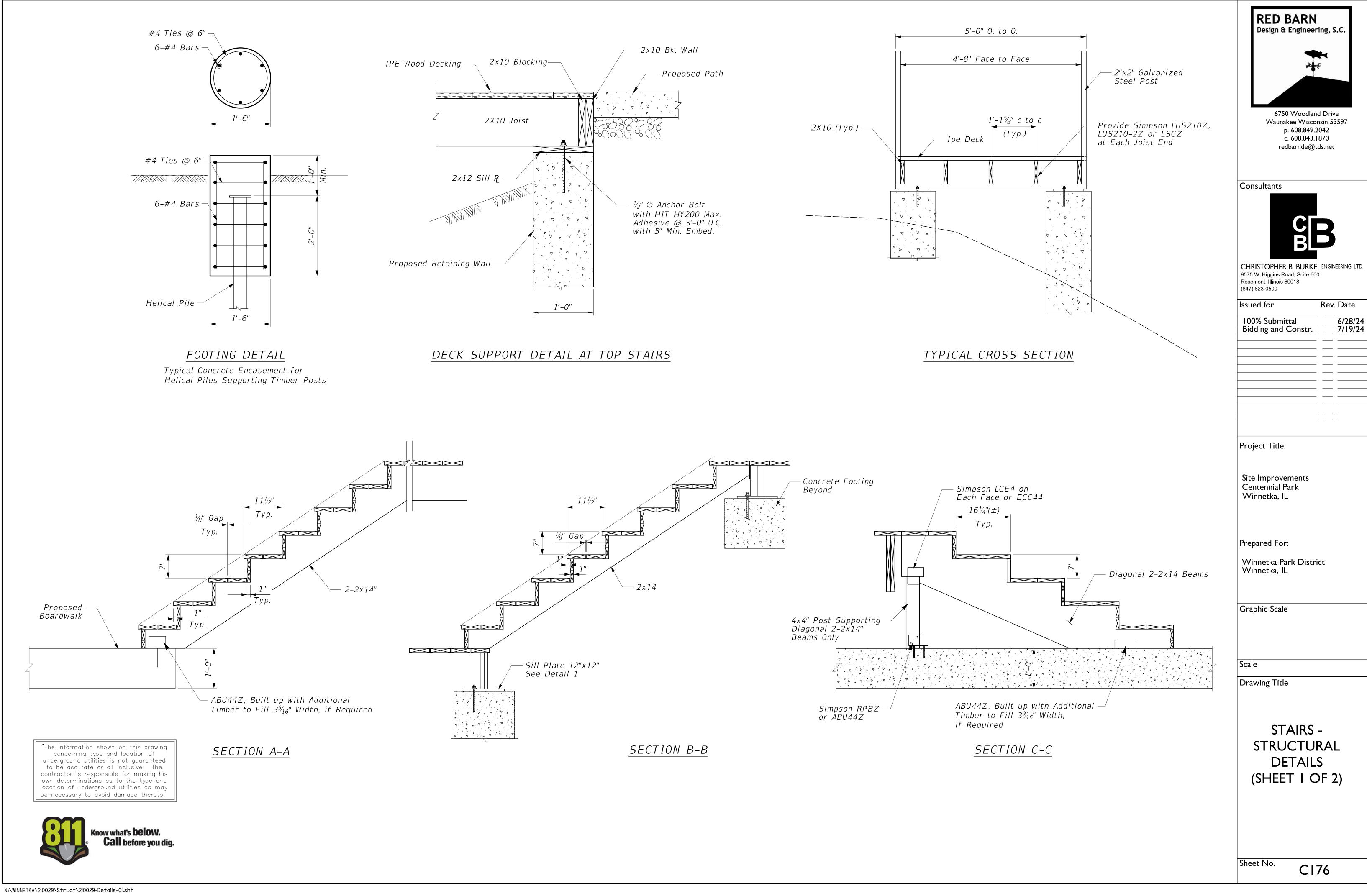
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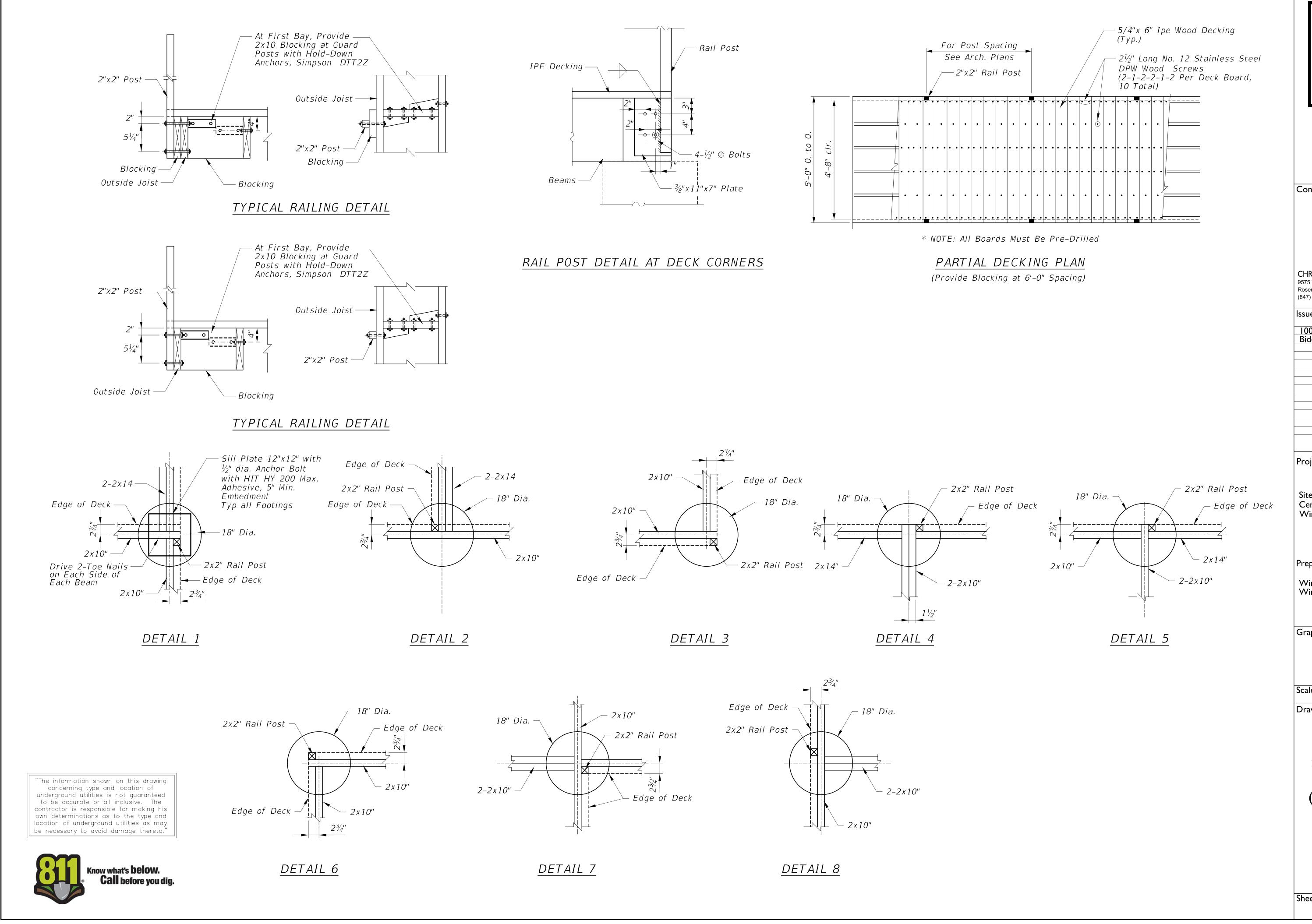
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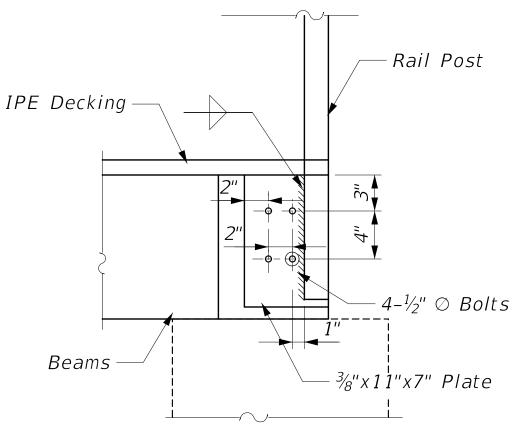
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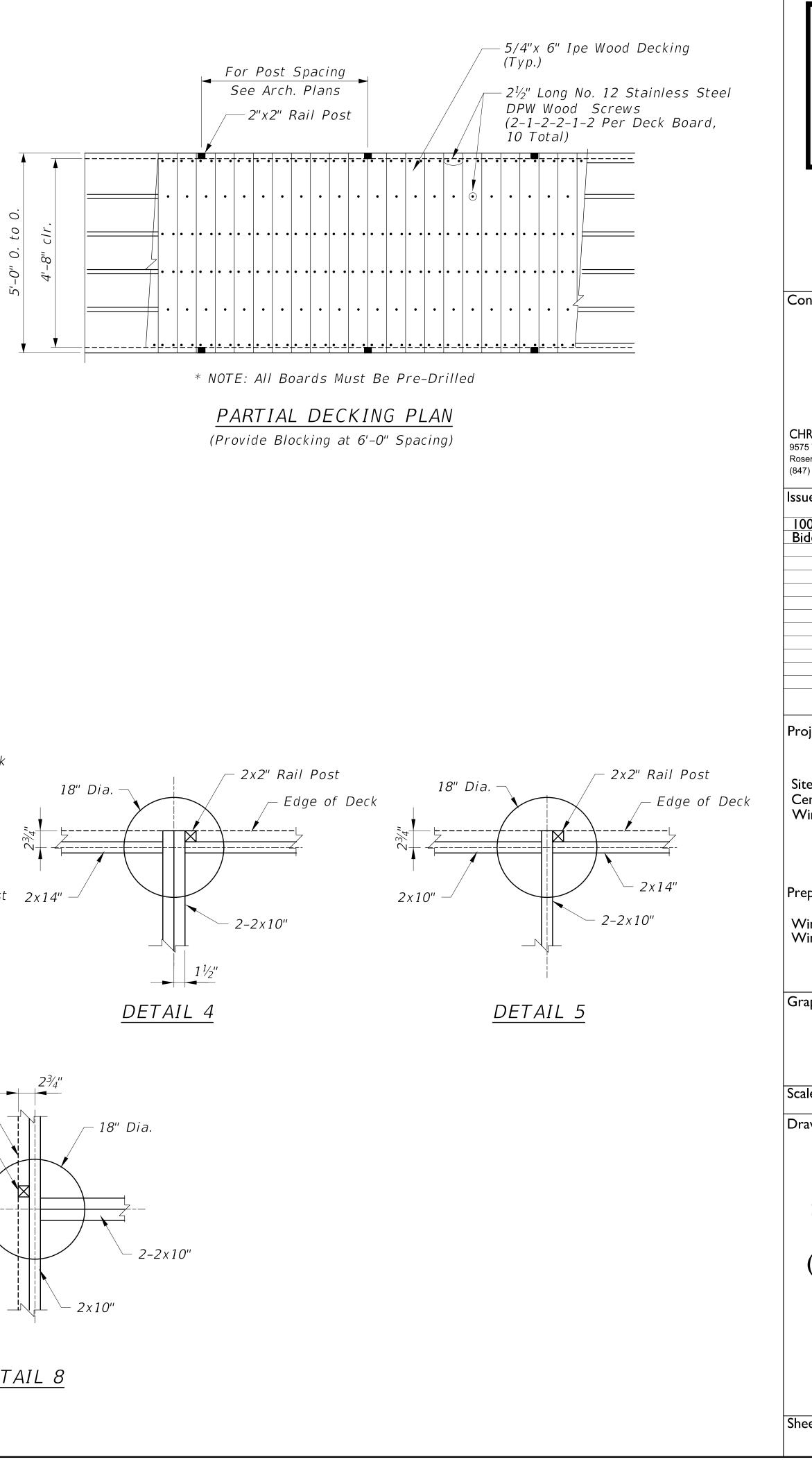




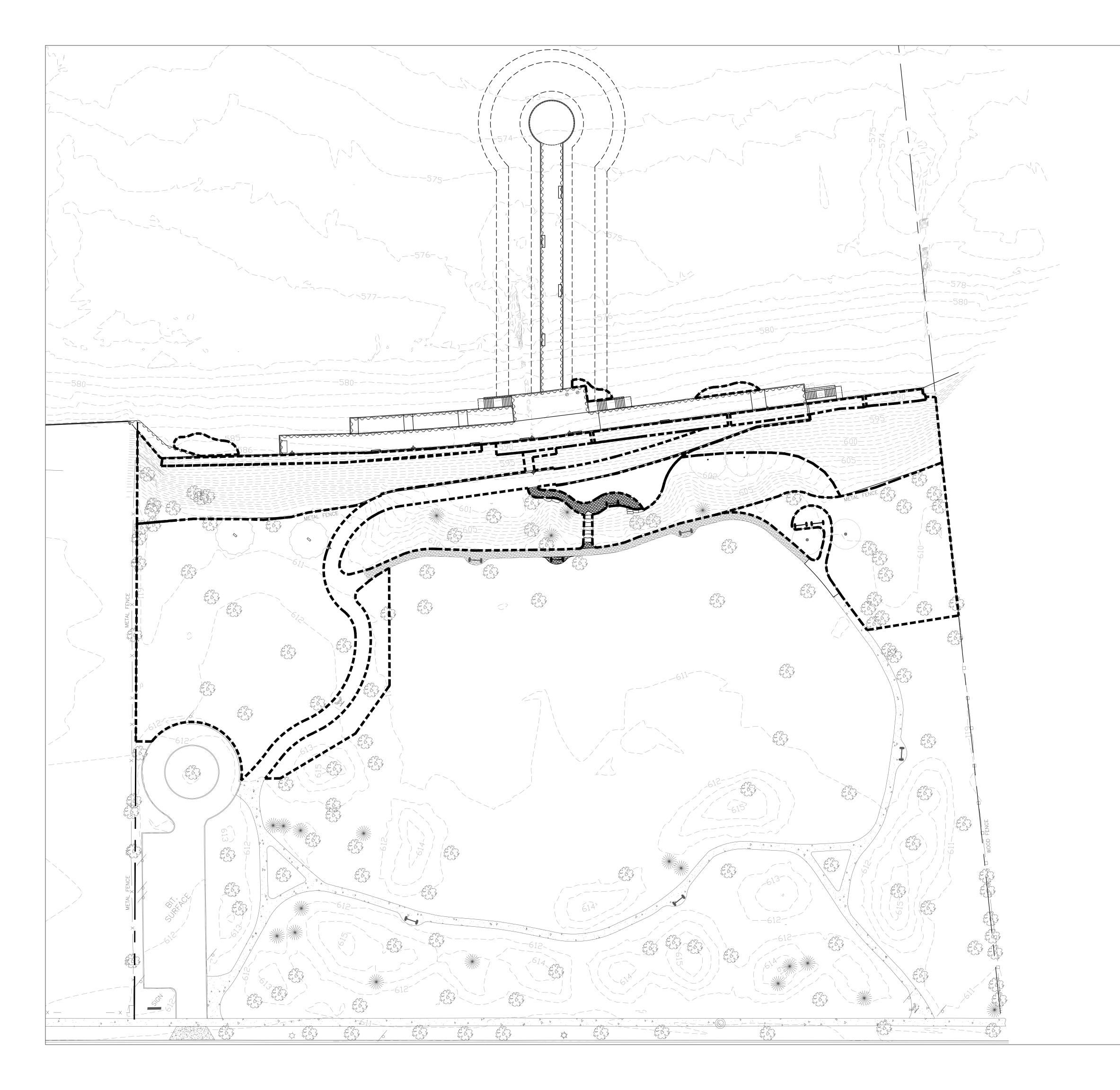


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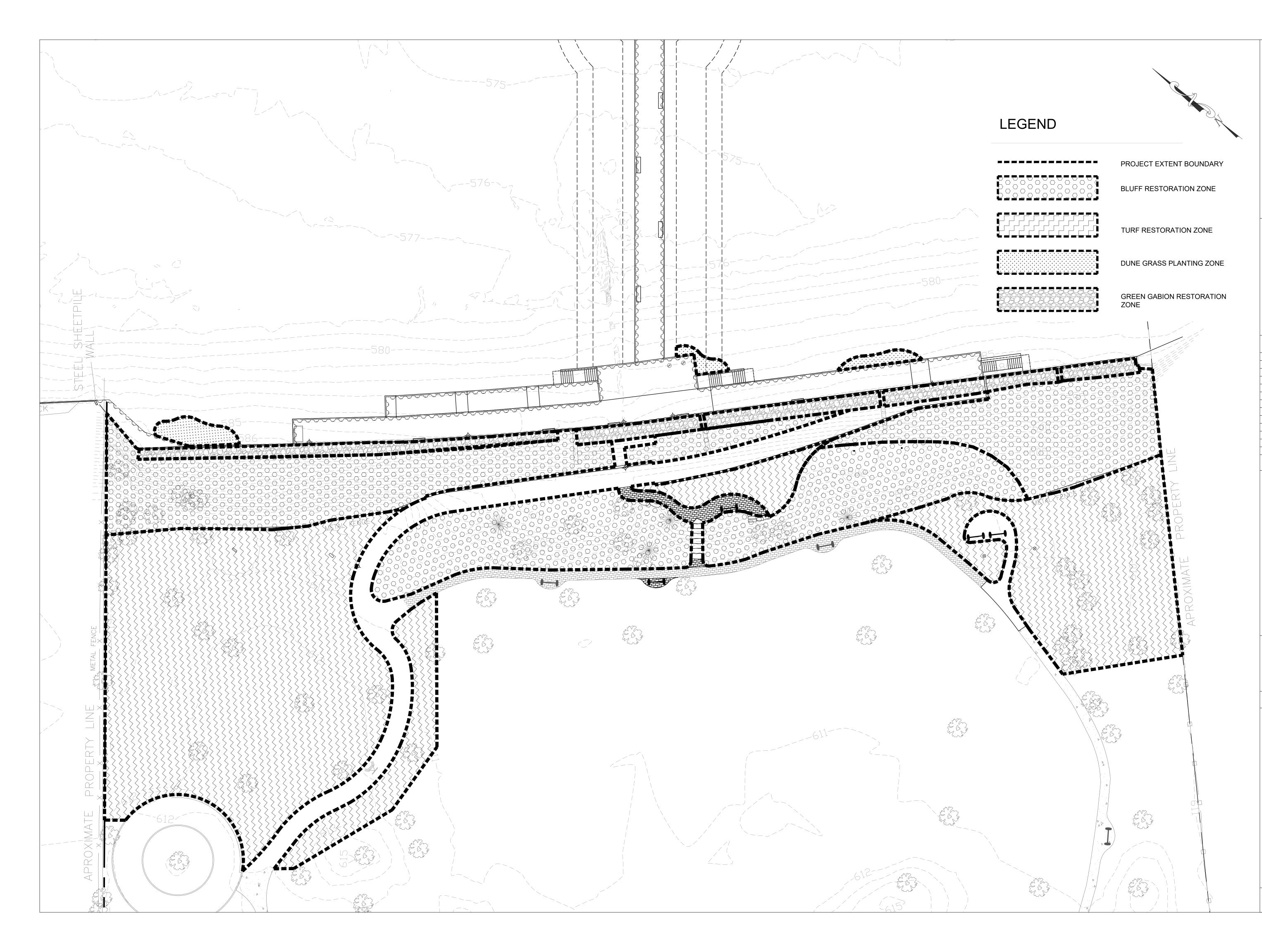
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Consultants
CHRISTOPHER B. BURKE ENGINEERING, LTD. 575 W. Higgins Road, Suite 600
Rosemont, Illinois 60018 847) 823-0500
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Winnetka Park District Winnetka, IL
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# LEGEND

PROJECT EXTENT BOUNDARY



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6750 Woodland Drive Waunakee Wisconsin 53597 p. 608.849.2042
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ENVIRONMENTAL CONSULTANTS
200 West 22nd Street Suite 220 Lombard, Illinois 60148 p. 630.705.1762 c. 630.495.3740
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Prepared For:
Winnetka Park District Winnetka, IL
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CI79

## **RESTORATION NOTES**

### PLANTING AND SEEDING NOTES

Bluff Restoration Zone - 23,755 sq. ft.

- 1. In planting areas with slopes 3H:1V or greater, the area shall be covered with a single layer of a biodegradable double-net straw blanket, such as BioNet® S150BN® or similar product. Blanket shall be anchored using 6" wooden stakes, such as an Eco-stake. Installation should follow the manufacturer's recommendations for the site conditions.
- 2. Areas disturbed during construction will require a single layer of BioNet® S150BN® followed by a single layer of BioD-Mat® 70 coir mat. The coir mat will be installed and anchored with wooden wedges per the manufacturer's recommendations for the site conditions. Native seed and cover crop will need to be spread prior to the installation of the erosion fabric. The native seed will be applied at a rate of 7 PLS lbs. per acre with species from the Bluff Restoration Seed list. The extent of the disturbed area has not been determined; therefore, the area of erosion fabric and seeding will need to be determined as the work is concluded.
- 3. Plant material shall be obtained from a nursery that specializes in native plant production and is produced from material sourced from within 250 miles of the site. The 250-mile range is limited to the central and southern Lake Michigan watershed.
- 4. Plugs shall be at least 2" in diameter and 5" deep and be grown in either a 38- or 50- cell propagation tray.
- 5. Install plant plugs on 18" centers in offset rows (triangular pattern) throughout the bluff restoration zone following 2025 herbaceous species herbicide applications. Plants should be installed in individual species clusters of 5-7 plants. All planting areas will be watered immediately following installation.
- 6. Groundcover species should be planted primarily along the gabion wall with other species as these species should gradually grow over this wall. These species include, Clematis virginiana, Potentilla simplex, Ruellia humilis, and Tephrosia virginiana.
- 7. Plant installation should occur during typical perennial planting windows. If the installation is to be performed during the dry summer months, the contractor will irrigate as needed to promote the successful establishment of the plant material.
- 8. The successful establishment of the plant material is considered an 80% survival, or greater, at the end of the first growing season. 9. A cover crop of seed oats should be spread at a rate of 35 lbs./acre following the plug installation.

#### Green Gabion Wall - 3210 sq. ft.

- 1. Remove all vegetation from the gabions and cut the woody species as close to flush with the wire as feasible. Treat all the cut stumps as detailed in the Invasive and Noxious Species Removal and Control section.
- 2. A clean, sandy loam topsoil will be utilized to backfill any voids in the gabions and cover the exposed wire to a depth of 2 inches. 3. Utilize a vibratory plate compactor, or other approved equipment, to settle and compact the soil around the rocks in the gabions. Continue to add topsoil and compact to achieve a 2" thick soil layer over the gabions.
- 4. The area will be hydroseeded within a week following the topsoil installation to stabilize the slope. The hydroseed will consist of an approved hydraulic mulch, tackifier, native seed from the Bluff Restoration Seed list, and a seed oats cover crop.

#### Dune Grass Planting Zone - 800 sq. ft.

- 1. This zone is currently open sand that is adjacent to construction activities.
- 2. Install bare root plants on 8" centers in offset rows (triangular pattern) throughout the dune grass restoration zone in the spring or fall following the conclusion of construction activities. The bare root plants should be planted 10" or more beneath the surface and in accordance with the supplier's recommendation.
- 3. In planting areas with slopes 3H:1V or greater, the area shall be covered with a single layer of a biodegradable double-net straw blanket, such as BioNet® S150BN® or similar product. Blanket shall be anchored using 6" wooden stakes, such as an Eco-stake. Installation should follow the manufacturer's recommendations for the site conditions.
- 4. All bare root plants should be inspected prior to installation, any moldy or rotted plants shall be discarded. Installation of this type of plant material is unlikely to survive.
- 5. Dune grass plantings shall be watered immediately following installation and irrigated as needed throughout the first growing season to achieve an 80% survival.
- Turf Restoration Zone 31,162 sq. ft.
- 1. Prior to seeding, the area shall be tilled to a depth of 4" and any branches, rocks, or debris greater than 0.75" in diameter shall be removed. 2. A general-purpose turf mix will be selected that matches the existing turf growing in the park and installed per the manufacturer's recommendations for the selected installation method.
- 3. Seed shall be applied with either a broadcaster or hydraulically. If applied with a broadcast method, half the seed shall be installed while working in one direction. The second half of seed shall be applied while going in a direction perpendicular to the first pass to ensure 100% coverage of the site. The area should be lightly rolled or raked after seeding to ensure adequate seed to soil contact.
- 4. Following seed installation, the seeded area shall be covered with either straw or hydraulic mulch with a tackifier. Straw should be applied at 2 tons/acre and crimped or anchored in place. Hydraulic mulch should be paper- or wood-based and applied at the manufacturer's rate for the site conditions.
- 5. Seeded areas shall be irrigated by the contractor during the establishment period until a dense and consistent stand of grass is established without any bare spots larger than 2 square feet.

Bluff Restoration Zone Planting List Centennial Park		
Asclepias tuberosa	Butterfly weed	1432
Calamovilfa longifolia	Sand Reed Grass	2046
Clematis virginiana	Virgin's bower	409
Elymus virginicus	Virginia Wild Rye	2046
Euphorbia corollata	Flowering Spurge	409
Helianthus occidentalis	Western sunflower	614
Monarda fistulosa	Wild bergamot	409
Panicum virgatum	Switch grass	1227
Penstemon hirsutus	Hairy beard-tongue	409
Potentilla simplex	Common cinquefoil	409
Ruellia humilis	Wild petunia	409
Schizachyrium scoparium	Little Bluestem	2046
Symphyotrichum ericoides	Heath Aster	409
Symphyotrichum sericeum	Silky aster	409
Tephrosia virginiana	Goat's rue	409
Tradescantia ohiensis	Ohio spiderwort	409
Verbena stricta	Hoary vervain	409
	Total	13910

Bluff Restoration Zone Seed List		
Centennial Park		
Species	Common Name	
Asclepias tuberosa	Butterfly weed	
Calamovilfa longifolia	Sand Reed Grass	
Elymus virginicus	Virginia Wild Rye	
Monarda fistulosa	Wild bergamot	
Panicum virgatum	Switch grass	
Penstemon hirsutus	Hairy beard-tongue	
Schizachyrium scoparium	Little Bluestem	
Tradescantia ohiensis	Ohio spiderwort	
Verbena stricta	Hoary vervain	

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Consultants SSAVCA ENVIRONMENTAL CONSULTANTS 200 West 22nd Street Suite 220 Lombard, Illinois 60148 p. 630.705.1762 c. 630.495.3740	
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Project Title: Site Improvements Centennial Park Winnetka, IL Prepared For: Winnetka Park District Winnetka, IL	
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## **RESTORATION NOTES**

### **INVASIVE SPECIES NOTES**

#### Invasive and Noxious Species Removal and Control - 1.34 ac.

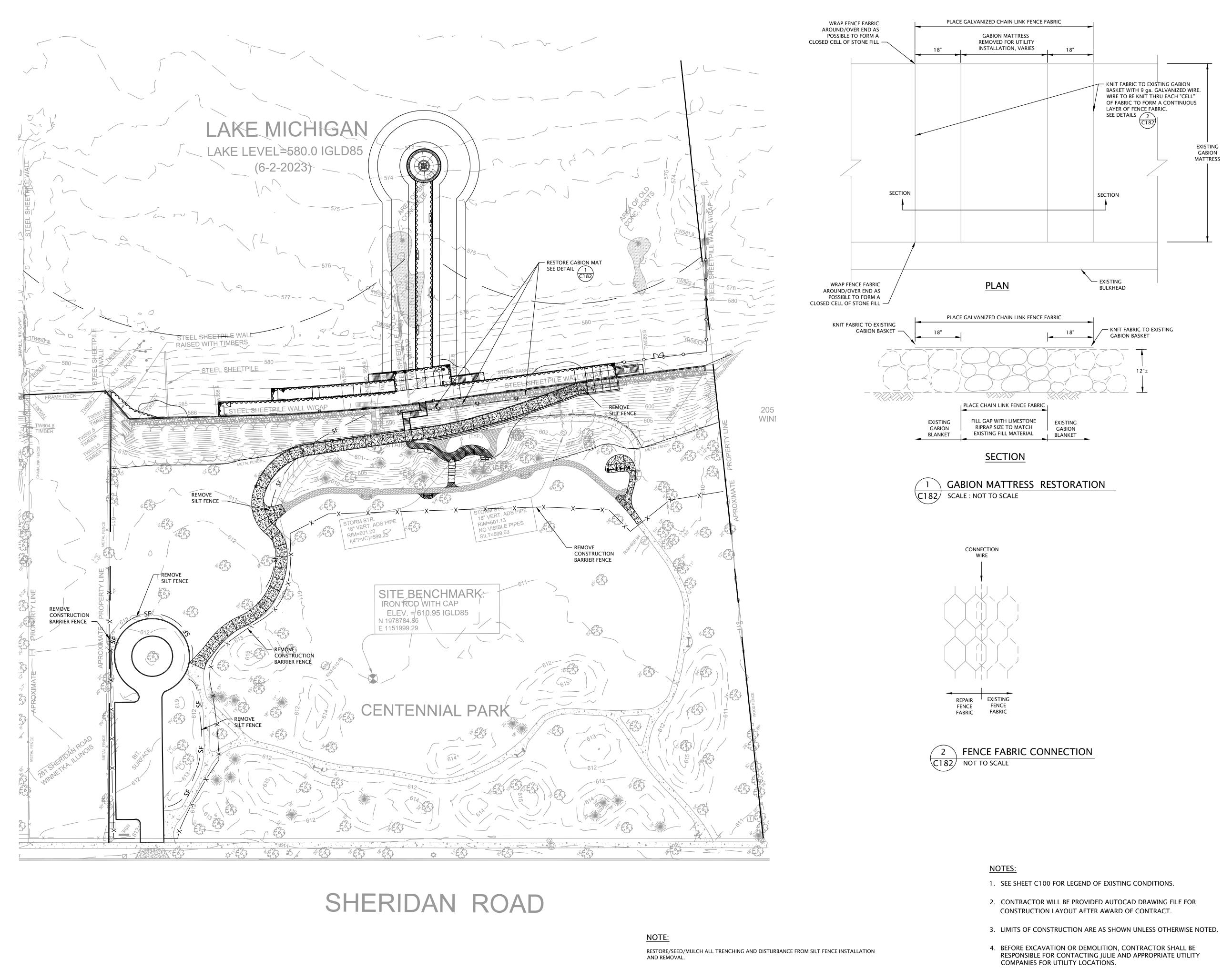
- 1. The Bluff Restoration Zone has steep, irregular slopes, and a relatively dense understory with some significant stands of invasive shrubs, trees, and vines. The native herbaceous plant community here is not particularly well established throughout most portions of the bluff restoration zone. There are small clusters of native spring ephemeral species that should be avoided during late-winter and early-spring target species treatment applications. The Turf Restoration and Dune Grass Planting Zones are included in the total acreage but do not require any target species treatments.
- 2. The contractor shall be responsible for submitting an Invasive Species Control Plan for review and approval prior to the start of any target species control. This plan will include the contractor's proposed schedule and treatment methodology for both woody and herbaceous target species.
- 3. All target non-native and invasive species are to be treated within the limits of the restoration project area as shown on the plan. 4. Only non-native tree and shrub species with a DBH < 8" are to be removed/treated as part of this project. Exceptions to the size class limit
- apply to invasive and highly aggressive species noted in the target species list. 5. All trees, shrubs, and vines greater than 1' in height shall have their stumps cut to a height less than or equal to 2" above the ground surface. Trees, shrubs, and vines less than 1' in height shall receive a foliar treatment with an appropriate selective herbicide once the leaves have fully emerged.
- 6. All cut woody species will be chipped and disposed of at an appropriate off-site area.
- 7. All cut stumps will be treated with an herbicide containing glyphosate as an active ingredient and applied at the manufacturer's recommended rate for dormant stump treatment. If the area of treatment is within 50' of the lakeshore, an herbicide approved for aquatic use shall be used. Cut stumps will be treated within 30 minutes of cutting. Contractors may propose the use of alternative herbicides as part of the Invasive Species Control Plan. The use of alternative herbicides would require the approval of the project engineer and would be done at no additional cost.
- 8. Any cut stumps that are not treated within the specified time limit, or cut to the correct height, should be recut and treated. 9. Target woody species removal and cut stump treatment will be conducted during the winter season of the contracted construction year when
- plants are dormant. Woody and herbaceous target species foliar treatments to begin in spring season of contracted construction year. 10. Quantity and timing of herbicide treatments will be dependent upon species to be controlled and should follow industry standard practices and herbicide manufacturer's recommendations to achieve an 95% reduction in target species cover by the end of the growing season of the contracted construction year.

#### Maintenance

- 1. Monthly inspections of the three restoration zones will be conducted to identify any areas with insufficient plant growth and/or areas of erosion.
- 2. Any bare areas larger than 4 square feet will be reseeded and/or replanted and mulch as necessary to obtain an even and vigorous stand of vegetation.
- 3. Any areas of erosion will be repaired as deemed appropriate to stabilize the eroded area in coordination with the engineer.
- 4. The contractor shall control non-native and invasive species to maintain a 5% or lower areal cover of the Bluff Restoration and Dune Grass Planting zones.

	Target Species List	
Species	Common Name	Tree Removal Size Limit (If Applicable)
Acer platanoides	Norway Maple	≤8" DBH
Ailanthus altissima	Tree-of-Heaven	All Sizes
Alliaria petiolata	Garlic Mustard	
Arctium minus	Common Burdock	
Artemisia vulgaris	Common Mugwort	
Berberis thunbergii	Japanese Barberry	
Celastrus orbiculatus	Asian Bittersweet	
Centaurea stoebe	Spotted Knapweed	
Cirsium arvense	Canada Thistle	
Conium maculatum	Poison hemlock	
Dipsacus spp.	Teasel	
Elaeagnus umbellata	Autumn Olive	
Euonymus alatus	Winged Euonymus	All Sizes
Euonymus fortunei	Winter creeper	
Hedera spp.	lvy	
Humulus japonicus	Japanese Hop	
Leymus arenarius	European Lyme Grass	
Ligustrum spp.	Privet	All Sizes
Lonicera japonica	Japanese honeysuckle	
Lonicera spp.	Bush honeysuckles	All Sizes
Lotus corniculatus	Bird's Foot Trefoil	
Lysimachia nummularia	Moneywort	
Lythrum salicaria	Purple Loosestrife	
Melilotus spp.	Sweet Clover	
Morus alba	White Mulberry	All Sizes
Pastinaca sativa	Wild Parsnip	
Phalaris arundinacea	Reed Canary Grass	
Phragmites australis	Common Reed	
Reynoutria spp.	Knotweed	
Rhamnus cathartica	Common Buckthorn	All Sizes
Rhus typhina	staghorn sumac	≤4" DBH
Robinia pseudoacacia	Black Locust	All Sizes
Rosa multiflora	Multiflora Rose	
Securigera varia	Crown Vetch	
Solidago sempervirens	Seaside Goldenrod	
Typha spp.	Cattail	
Ulmus pumila	Siberian Elm	All Sizes
Vinca spp.	Periwinkle	
Vitis spp.	Grapevines	
	egion's commonly encountered r	noxious and invasive
species, but not limited to t		

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Consultants SSAVCA ENVIRONMENTAL CONSULTANTS 200 West 22nd Street Suite 220 Lombard, Illinois 60148 p. 630.705.1762 c. 630.495.3740
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Site Improvements Centennial Park Winnetka, IL
Prepared For: Winnetka Park District Winnetka, IL
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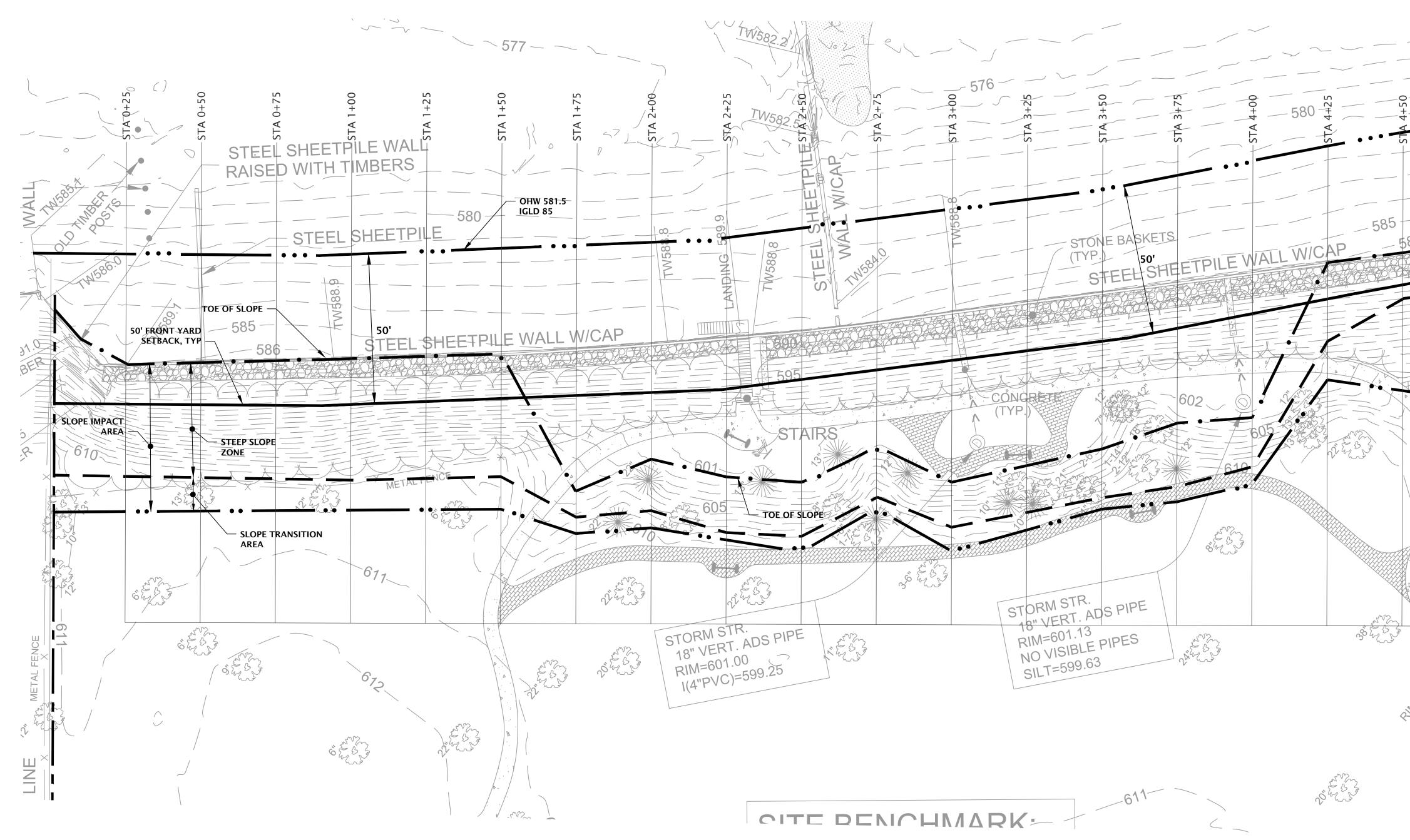


"The information shown on this drawing concerning type and location of underground utilities is not guaranteed to be accurate or all inclusive. The contractor is responsible for making his own determinations as to the type and location of underground utilities as may be necessary to avoid damage thereto."



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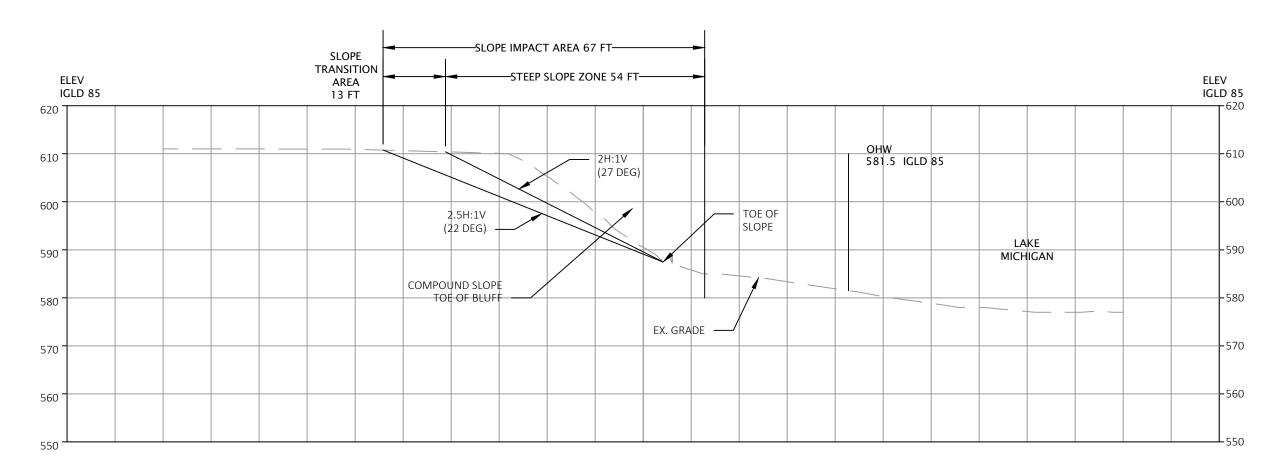


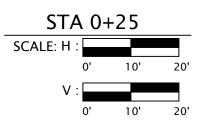
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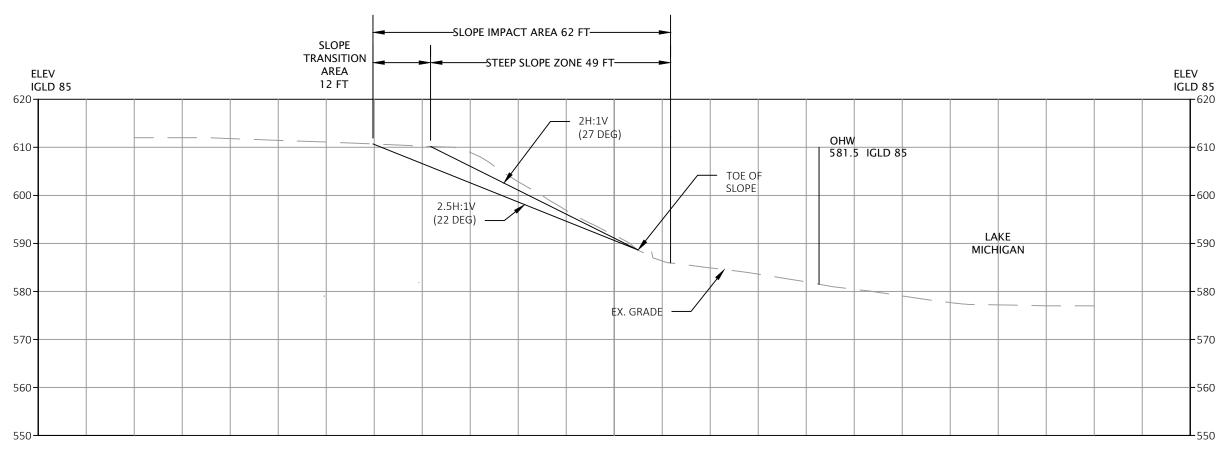


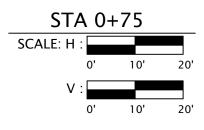
Know what's **below.** Call before you dig. 

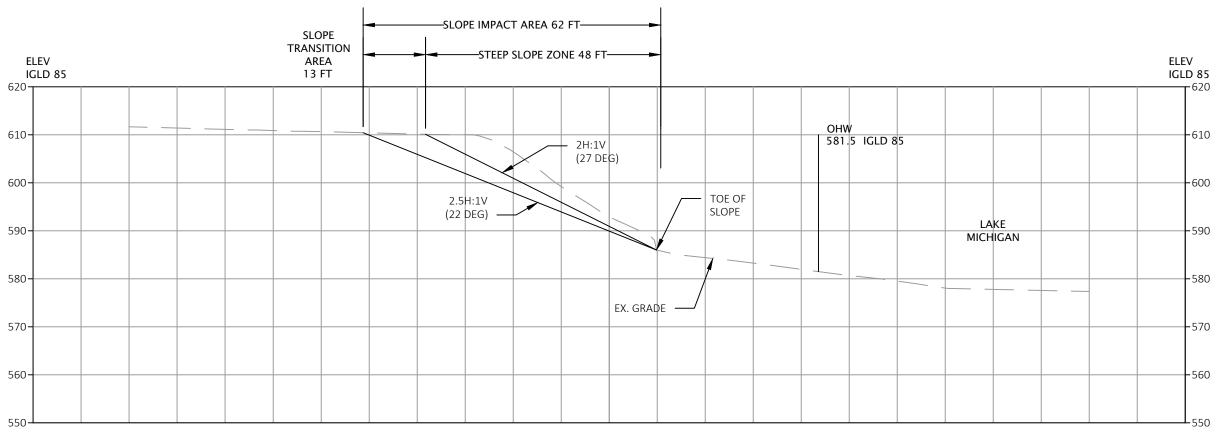
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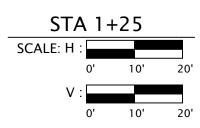


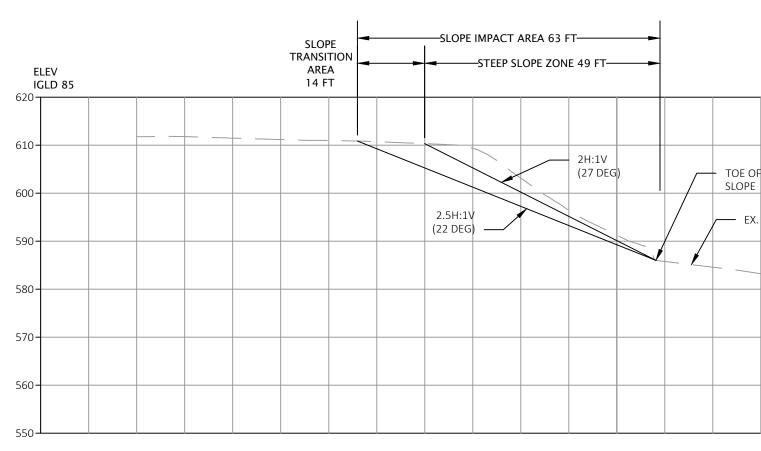


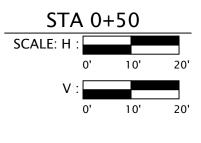


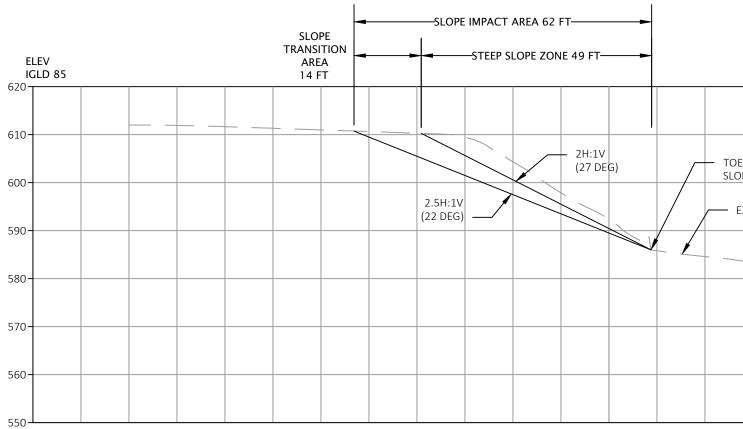


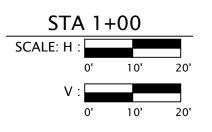


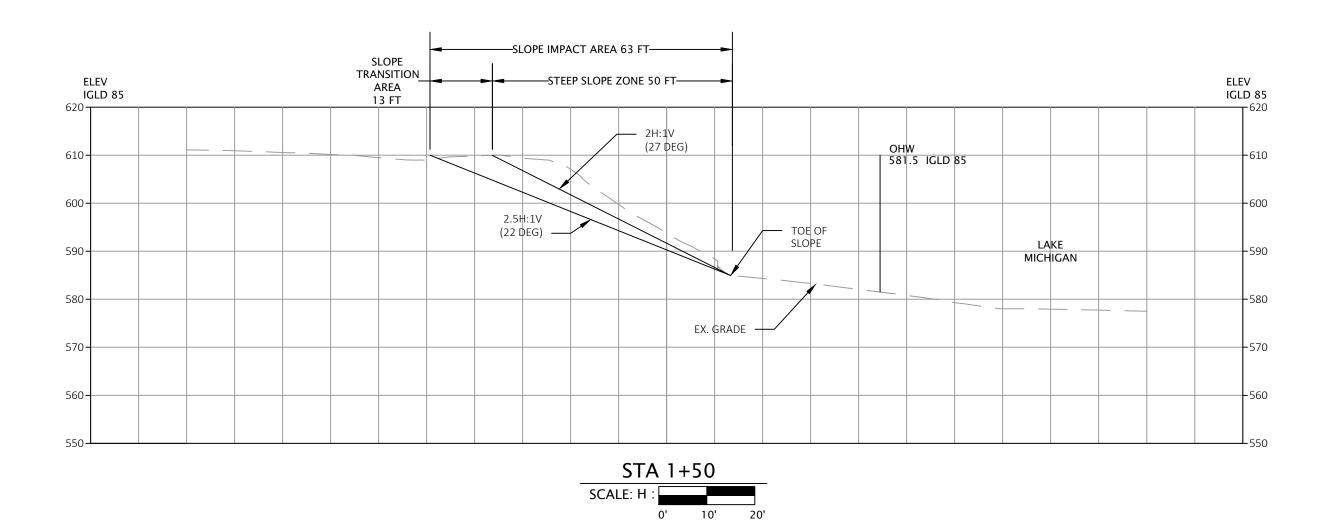










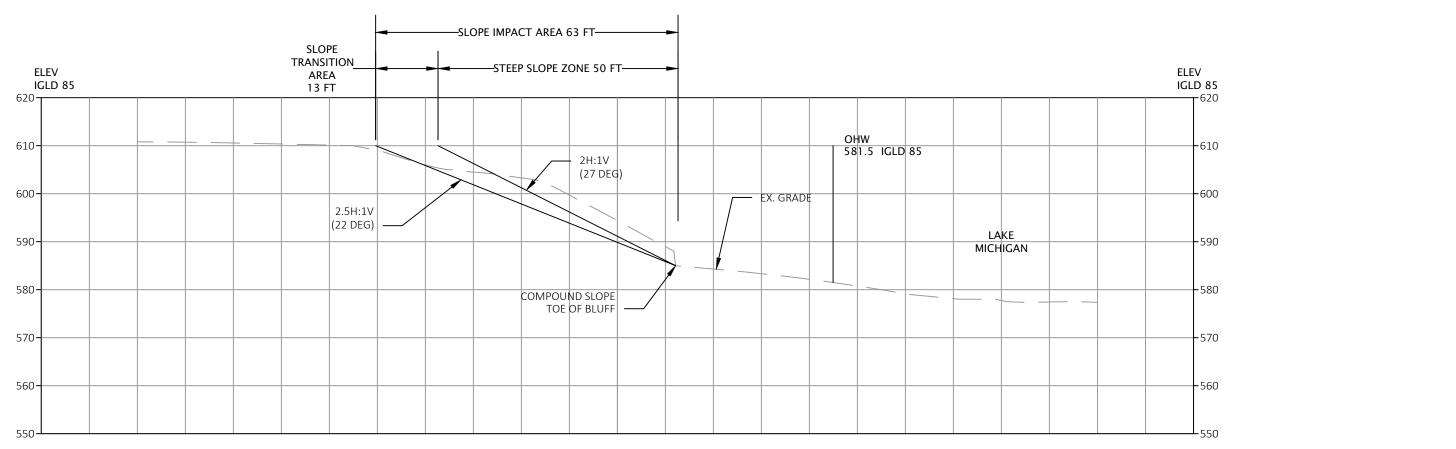


V : 0' 10' 20'

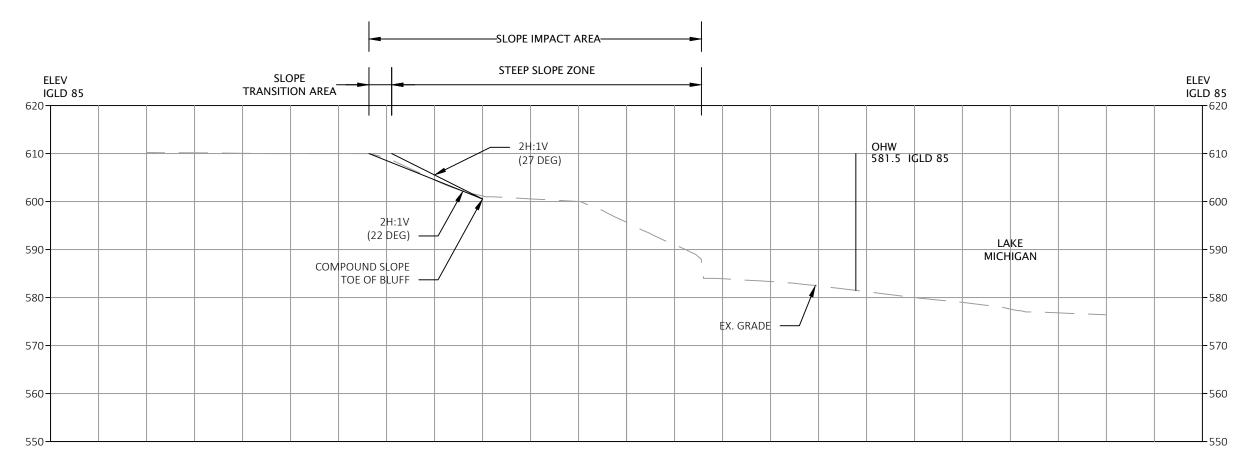
RED BARN         Design & Engineering, S.C.         Image: Construction of the state of the	
Consultants	
Issued forRev. DateVillage Response07/19/24	
Project Title:	
Site Improvements Centennial Park Winnetka, IL	
Prepared For:	
Winnetka Park District Winnetka, IL	
Graphic Scale	
0' 10' 20' (In Feet ) I Inch = 20 Ft.	
Scale I" = 20'	
Drawing Title Cross Sections	
Sheet No.	
CS -7	

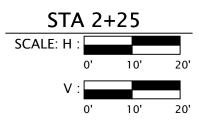
	ELEV IGLD 85
OHW 581.5 IGLD 85	
DF E	- 600
X. GRADE LAKE MICHIGAN	
	- 570
	550

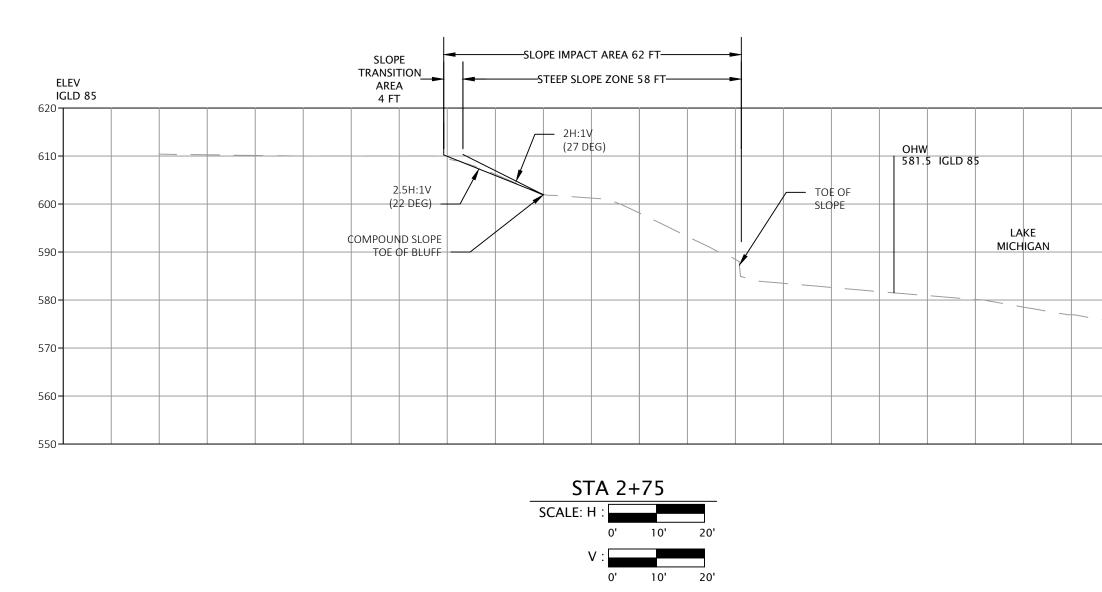
			 	 	 ELE IGL	<b>D 85</b> ⊏ <sup>620</sup>
	OHW 581.5	IGLD 85				-610
DE OF OPE						-600
EX. GRADE			LA MICH			-590
			 	 		-580
					 	-570
						-560
						-550

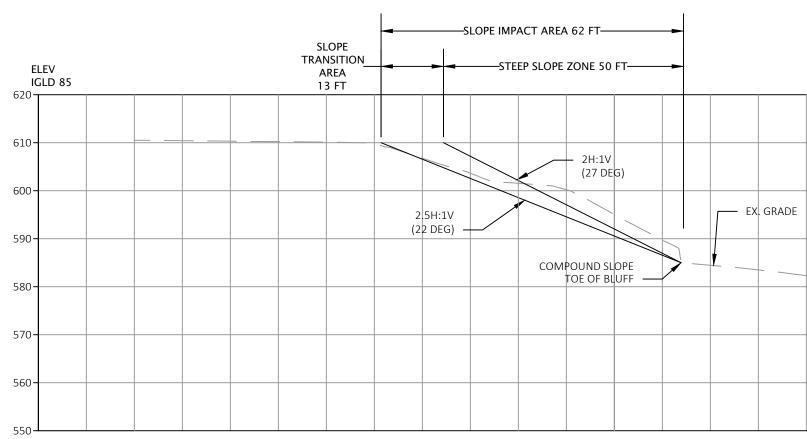


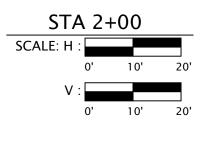








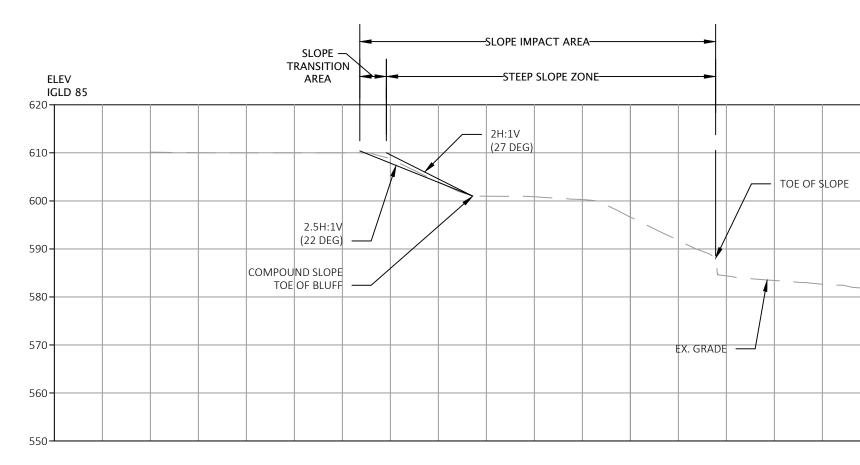


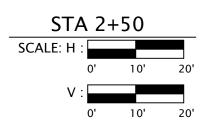


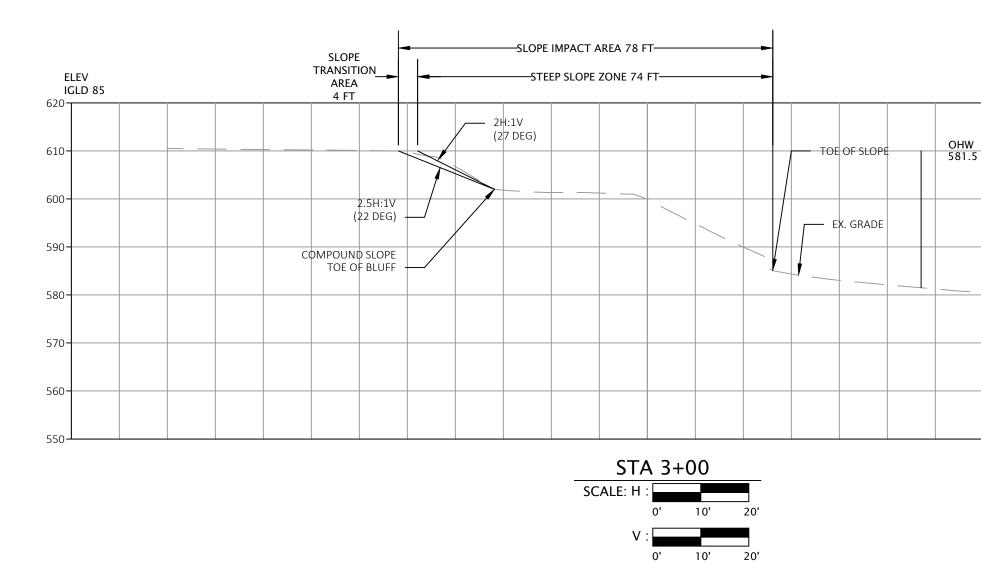
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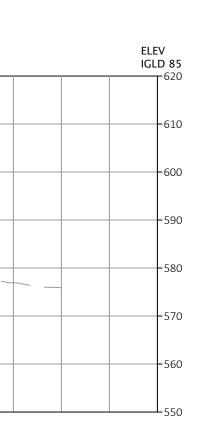
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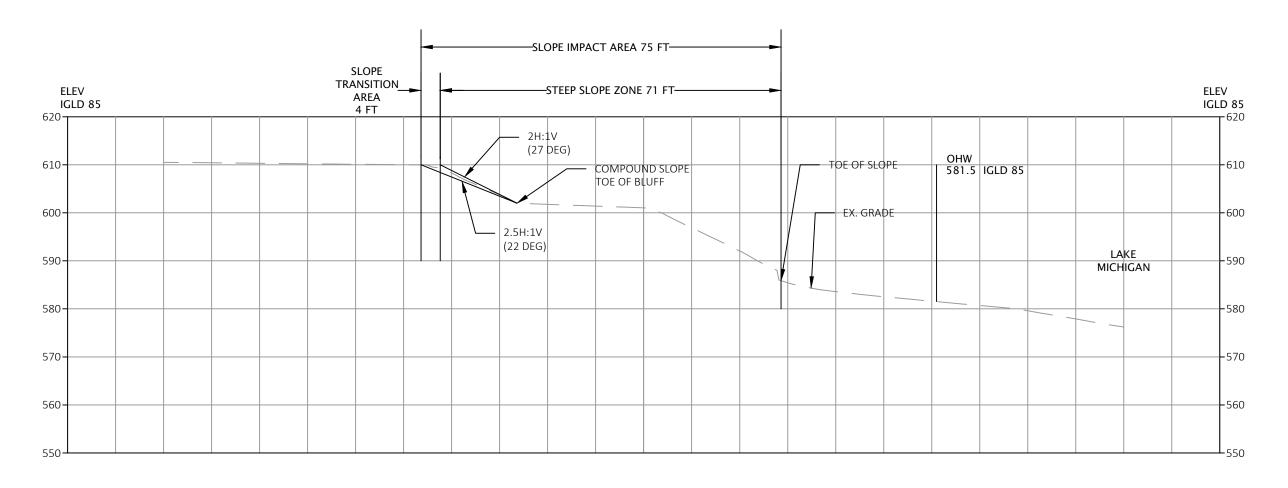




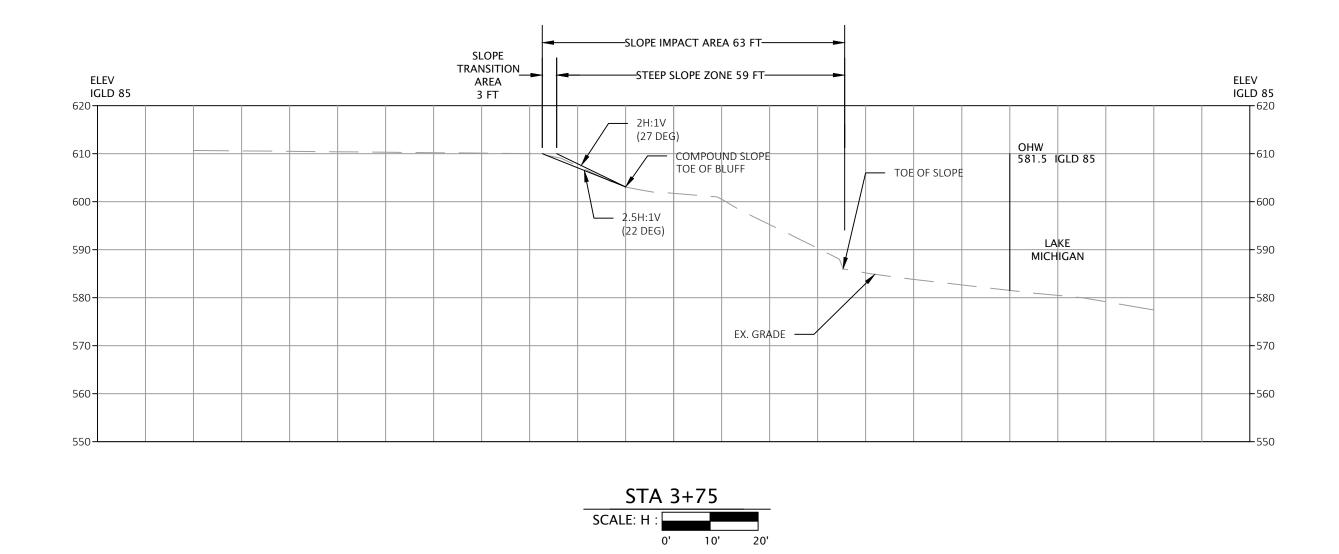


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	OHW							-620 -610			
	581.5	IGLD 85						-600			
			LA	KE				-590			
_			MICH	IGAN				-580			
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						1	ELE IGL	:V D 85 C <sup>620</sup>			
	OHW 581.5	IGLD 85						-610			
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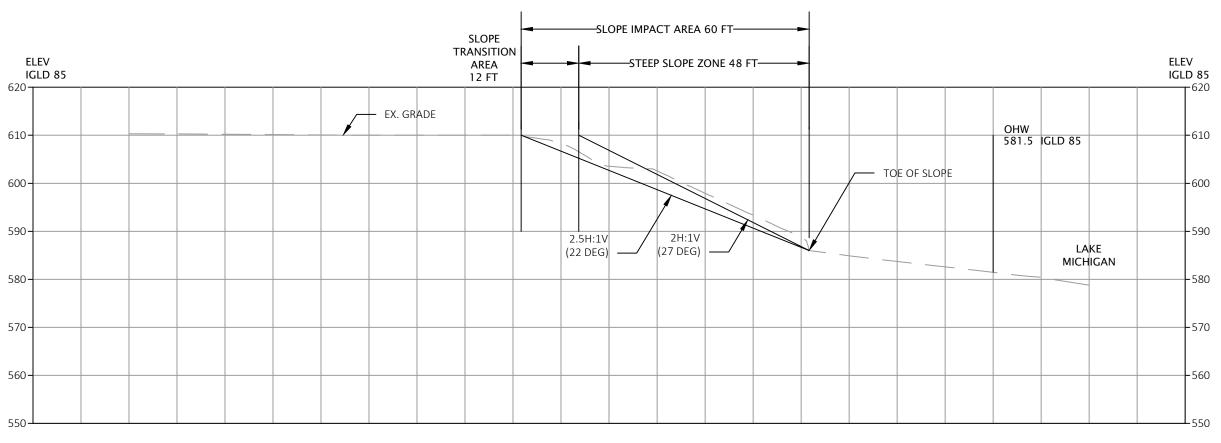
RED BARN Design & Engineer 6750 Woodlar Waunakee Wisco p. 608.849. c. 608.843. redbarnde@	nd Drive onsin 53597 2042 1870
Consultants	
ssued for /illage Response	Rev. Date 07/19/24
Project Title:	
Site Improvements Centennial Park Winnetka, IL	
Prepared For:	
Winnetka Park Distri	ict
Winnetka, IL	
Graphic Scale	
0' 10' (In Feet) 1 Inch = 20	20'
Scale I" = 20'	
Drawing Title	
Cross Sections	
Sheet No. CS - 8	



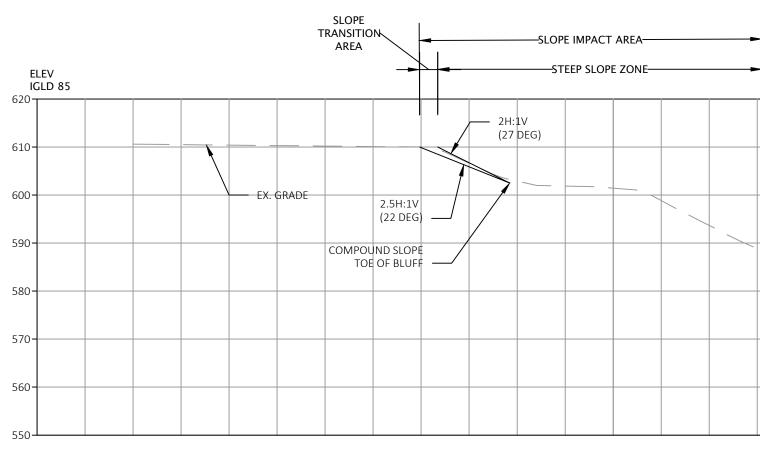


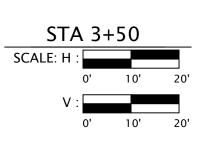


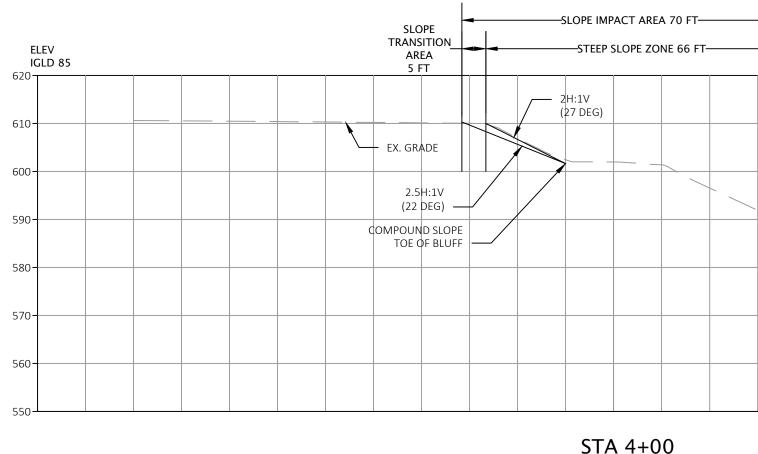
0' 10' 20'

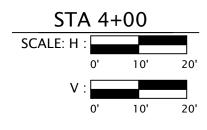


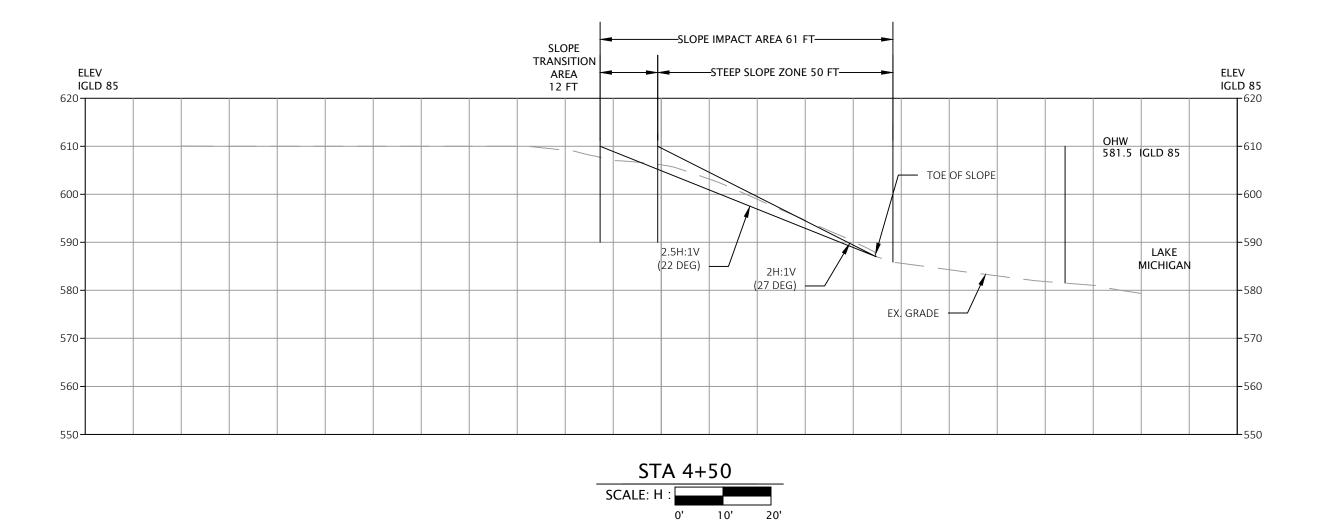
STA	4+2	25	
SCALE: H :			
	0'	10'	20'
V :			
	0'	10'	20'









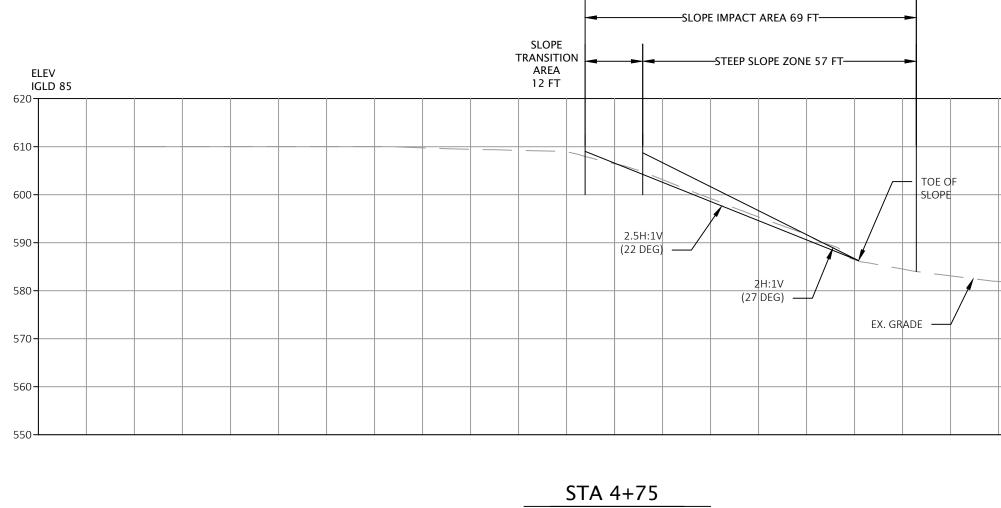


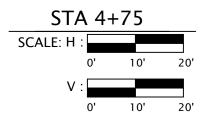
: 0' 10' 20'

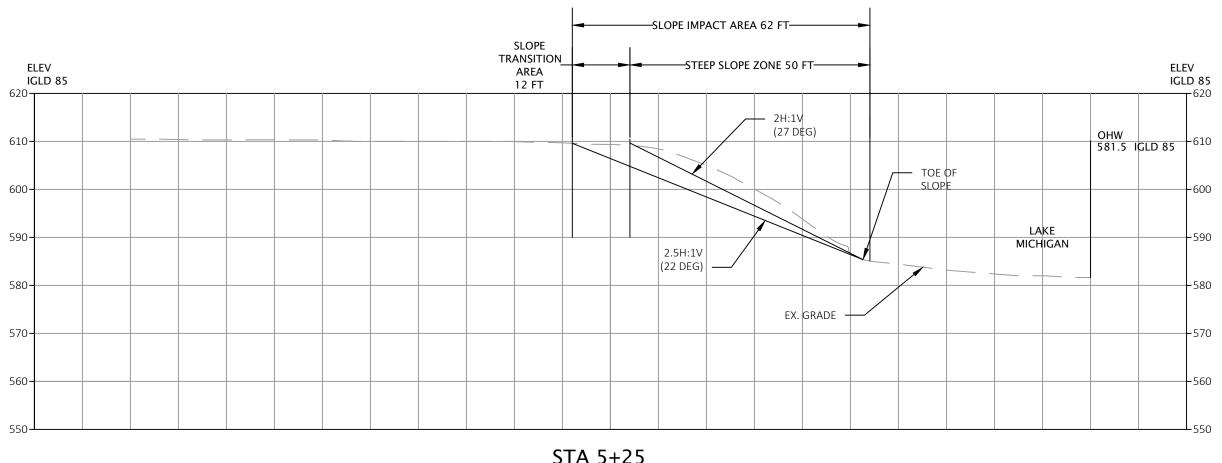
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	1	1	1	1	1	1	·	ELEV IGLD 85
				OHW 581.5 (	GLD 85			
	то	E OF SLOP	E					
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								550

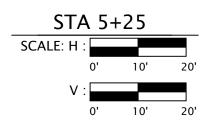
						ELEV IGLD 85
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			ОНЖ	5 IGLD 8		
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	— тое о	F SLOPE				-600
			N	LAKE /ICHIGAN		
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						550

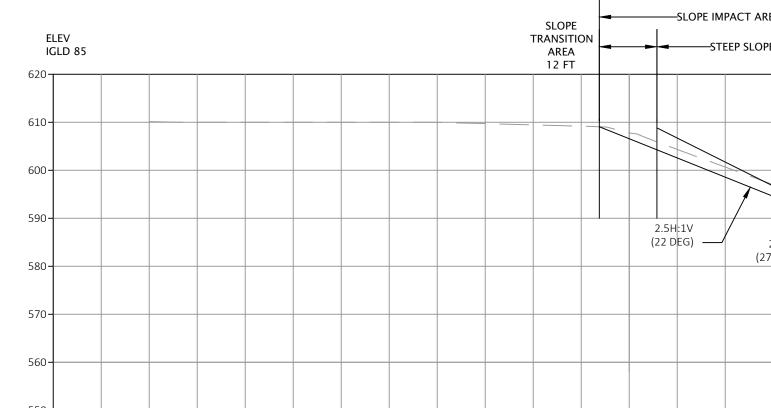
RED BARN   Design & Engineering, S.C.   Image: Construction of the second
Consultants
Issued for     Rev. Date       Village Response     07/19/24
Project Title: Site Improvements Centennial Park Winnetka, IL
Prepared For: Winnetka Park District Winnetka, IL
Graphic Scale 0'  10'  20' (In Feet) I Inch = 20 Ft.
Scale I" = 20' Drawing Title Cross Sections
Sheet No. CS -9

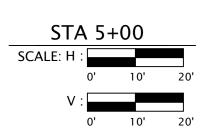


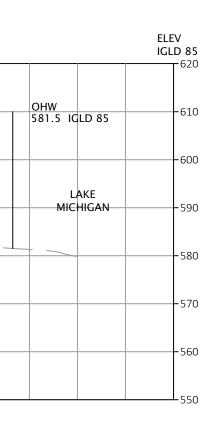












AREA 61 FT	ELEV IGLD 85
OHW 581.5	620 5 IGLD 85
TOE OF SLOPE	
	LAKE MICHIGAN
27 DEG)	580
	570
	550

RED BARN
Design & Engineering, S.C.
W A A A A A A A A A A A A A A A A A A A
6750 Woodland Drive
Waunakee Wisconsin 53597 p. 608.849.2042
c. 608.843.1870 redbarnde@tds.net
Consultants
Issued for Rev. Date Village Response 07/19/24
Project Title:
Site Improvements Centennial Park
Winnetka, IL
Prepared For:
Winnetka Park District
Winnetka, IL
Graphic Scale
0' 10' 20'
( In Feet $)I Inch = 20 Ft.$
Scale  " = 20'
Drawing Title
Cross Sections
Sheet No.
CS - 10